



Philip Tryon, Chair, Place 3
Julie Leonard, Vice-Chair, Place 1
Jacob Hammersmith, Place 2
Prince J. Chavis, Place 4
Vacant, Place 5
Cecil Meyer, Place 6
LaKesha Small, Place 7

Planning & Zoning Commission Regular Meeting

Wednesday, May 12, 2021 at 6:30 PM

Manor City Hall, Council Chambers, 105 E. Eggleston St.

AGENDA

**Via Telephone/Video Conference
(Zoom Meeting)**

This meeting will be live streamed on Manor Facebook Live
You can access the meeting at <https://www.facebook.com/cityofmanor/>

Pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act to allow for telephonic or videoconference meetings of governmental bodies that are accessible to the public in an effort to reduce in person meetings that assemble large groups of people the Planning and Zoning Commission meeting scheduled for Wednesday, May 12th, will only be open to the public via remote access.

Instructions for Public Speaking:

- *Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting www.cityofmanor.org where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to publiccomments@cityofmanor.org. Once registered, instructions will be emailed to you on how to join the videoconference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.*

Upon receiving instructions to join zoom meeting the following rules will apply:

- *All speakers must address their comments to the Chair rather than to individual Commission Members or city staff. Speakers should speak clearly into their device and state their name and address prior to beginning their remarks. Speakers will be allowed three (3) minutes for testimony. Speakers making personal, impertinent, profane or slanderous remarks may be removed from the meeting.*

CALL TO ORDER AND ANNOUNCE A QUORUM IS PRESENT

PUBLIC COMMENTS

*Comments will be taken from the audience participating in zoom meeting on non-agenda related topics for a length of time, not to exceed three (3) minutes per person. Comments on specific agenda items must be made when the item comes before the Commission. To address the Planning and Zoning Commission, please register and submit the speaker card following the instructions for public speaking above. **No Action May be Taken by the Planning and Zoning Commission During Public Comments.***

PUBLIC HEARINGS

- 1.** **Public Hearing:** Conduct a public hearing upon a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.
Applicant: Kimley-Horn and Associates
Owner: Forestar (USA) Real Estate Group, Inc.
- 2.** **Public Hearing:** Conduct a public hearing upon a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.
Applicant: Carlson, Brigance & Doering, Inc.
Owner: Manor Apartments, LLC
- 3.** **Public Hearing:** Conduct a public hearing upon a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).
Applicant: GarzaEMC
Owner: Butler Family Partnership, Ltd.

CONSENT AGENDA

All of the following items on the Consent Agenda are considered to be self-explanatory by the Planning and Zoning Commission and will be enacted with one motion. There will be no separate discussion of these items unless requested by the Chairperson or a Commission Member; in which event, the item will be removed from the consent agenda and considered separately.

- 4.** **Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of April 14, 2021, Regular Session.**

REGULAR AGENDA

- 5.** **Consideration, discussion, and possible action a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.**
Applicant: Kimley-Horn and Associates
Owner: Forestar (USA) Real Estate Group, Inc.

- 6.** Consideration, discussion, and possible action a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.
Applicant: Carlson, Brigance & Doering, Inc.
Owner: Manor Apartments, LLC
- 7.** Consideration, discussion, and possible action on a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).
Applicant: GarzaEMC
Owner: Butler Family Partnership, Ltd.
- 8.** Consideration, discussion, and possible action on a Final Plat for the Village at Manor Commons Phase 4, seventy-three (73) lots on 14.934 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.
Applicant: ALM Engineering, Inc.
Owner: Greenview Development Greenbury, L.P.
- 9.** Consideration, discussion, and possible action on a Final Plat for the Village at Manor Commons Phase 5, seventy-six (76) lots on 15.394 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.
Applicant: ALM Engineering, Inc.
Owner: Greenview Development Greenbury, L.P.
- 10.** Consideration, discussion, and possible action on a Final Plat for Manor Heights Subdivision Phase 2 Section 2, ninety-four (94) lots on 27.305 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.
Applicant: Kimley-Horn and Associates, Inc.
Owner: Forestar (USA) Real Estate Group, Inc.

ADJOURNMENT

In addition to any executive session already listed above, the Planning & Zoning Commission reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code Section §551.071 (Consultation with Attorney), §551.072 (Deliberations regarding Real Property), §551.073 (Deliberations regarding Gifts and Donations), §551.074 (Personnel Matters), §551.076 (Deliberations regarding Security Devices) and §551.087 (Deliberations regarding Economic Development Negotiations).

CONFLICT OF INTEREST

In accordance with Section 12.04 (Conflict of Interest) of the City Charter, “No elected or appointed officer or employee of the city shall participate in the deliberation or decision on any issue, subject or matter before the council or any board or commission, if the officer or employee has a personal financial or property interest, direct or indirect, in the issue, subject or matter that is different from that of the public at large. An interest arising from job duties, compensation or benefits payable by the city shall not constitute a personal financial interest.”

Further, in accordance with Chapter 171, Texas Local Government Code (Chapter 171), no Planning & Zoning Commission member and no City officer may vote or participate in discussion of a matter involving a business entity or real property in which the Planning & Zoning Commission member or City officer has a substantial interest (as defined by Chapter 171) and action on the matter will have a special economic effect on the business entity or real property that is distinguishable from the effect on the general public. An affidavit disclosing the conflict of interest must be filled out and filed with the City Secretary before the matter is discussed.

POSTING CERTIFICATION

I, the undersigned authority do hereby certify that this Notice of Meeting was posted on the bulletin board, at the City Hall of the City of Manor, Texas, a place convenient and readily accessible to the general public at all times and said Notice was posted on the following date and time: Friday, May 07, 2021, by 5:00 PM and remained so posted continuously for at least 72 hours preceding the scheduled time of said meeting.

/s/ Lluvia T. Almaraz, TRMC
City Secretary for the City of Manor, Texas

NOTICE OF ASSISTANCE AT PUBLIC MEETINGS:

The City of Manor is committed to compliance with the Americans with Disabilities Act. Manor City Hall and the Council Chambers are wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary at 512.272.5555 or e-mail lalmaraz@cityofmanor.org.



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Public Hearing: Conduct a public hearing upon a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

Applicant: Kimley-Horn and Associates
Owner: Forestar (USA) Real Estate Group, Inc.

BACKGROUND/SUMMARY:

This plat revision is related to the Phase 3 revision that was approved at last month’s P&Z. The developer is moving their amenity center from Phase 3 across the street into Phase 2. The total number lots that is actually being modified is 14, but the revision met the threshold for the entire plat to be re-approved.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Notice Letter
- Mailing Labels

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission conduct a public hearing upon a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

Plotted By: Duff, Daniel Date: February 22, 2021 10:39:50am File Path: K:\AUS_CIVIL\06925700 Sky Village South\06925700 Sky Village South\Cad\Manor Heights\Phase 2 Preliminary\Phase 2 Preliminary\Phase 2 Preliminary\PlanSheets\Cover Sheet.dwg
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

REVISION TO PRELIMINARY PLANS

FOR

MANOR HEIGHTS

PHASE 2 SECTION 1 & PHASE 2 SECTION 2

CITY OF MANOR, TRAVIS COUNTY, TEXAS

ENGINEER / SURVEYOR
Kimley»Horn

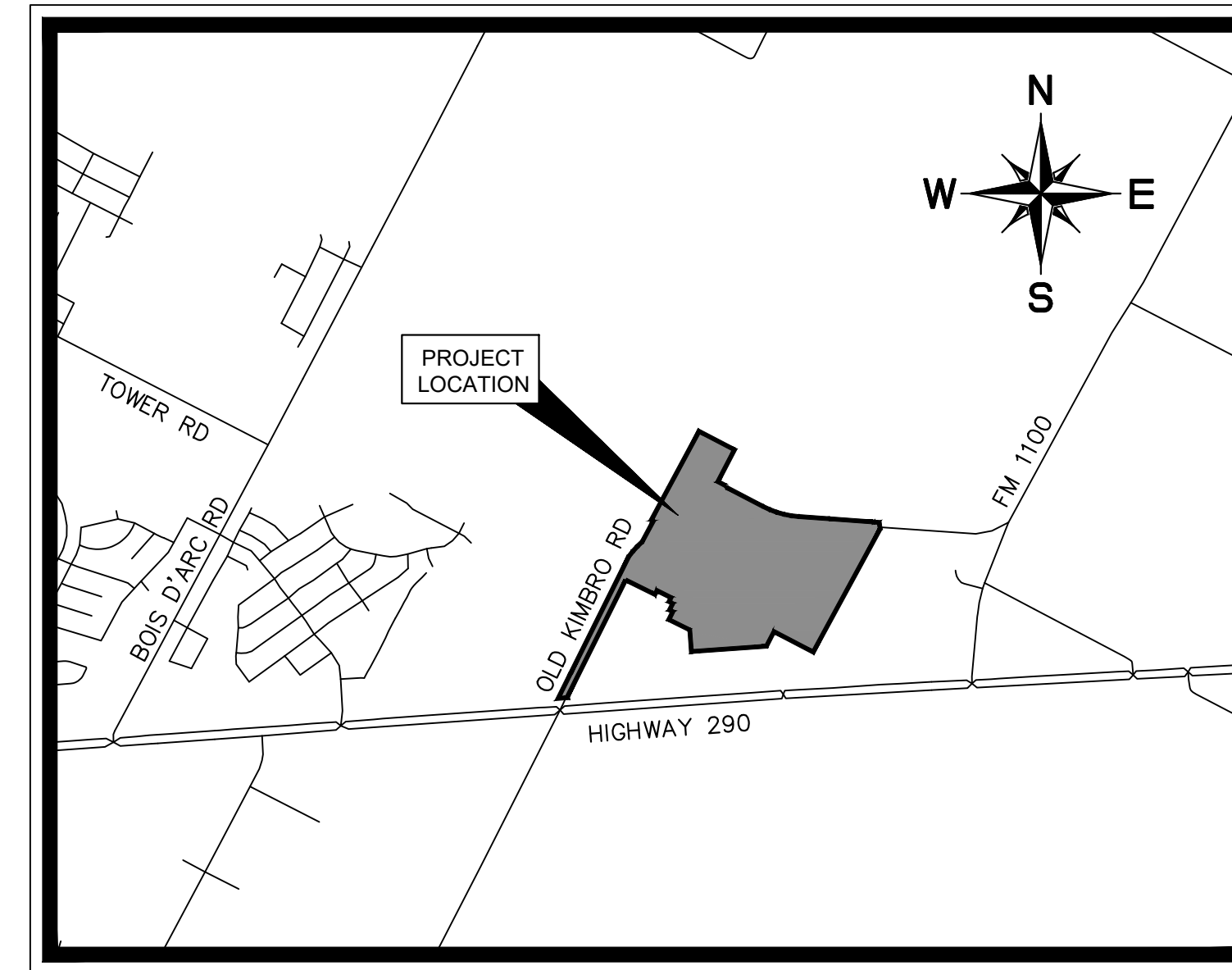
10814 JOLLYVILLE ROAD STATE OF TEXAS
AVALLON IV, SUITE 300 REGISTRATION NO. F-928
AUSTIN, TEXAS 78759
PH. (512) 418-1771
CONTACT: ALEX E. GRANADOS, P.E.

OWNER/DEVELOPER

FORESTAR REAL ESTATE GROUP, INC.
10700 PECAN PARK BLVD., SUITE 150
AUSTIN, TEXAS 78750
CONTACT: JEFF SCOTT



Know what's below.
Call before you dig.



VICINITY MAP
SCALE: 1" = 2,000'

REVISION DATE: 02/22/2021

FEBRUARY 2021

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS
3	TREE DATA
4	OVERALL PRELIMINARY PLAN
5	PRELIMINARY PLAN (SHEET 1 OF 3)
6	PRELIMINARY PLAN (SHEET 2 OF 3)
7	PRELIMINARY PLAN (SHEET 3 OF 3)
8	UTILITY PLAN (SHEET 1 OF 2)
9	UTILITY PLAN (SHEET 2 OF 2)
10	OVERALL DRAINAGE AREA MAP
11	INLET DRAINAGE AREA MAP (SHEET 1 OF 2)
12	INLET DRAINAGE AREA MAP (SHEET 2 OF 2)
13	DRAINAGE CALCULATIONS

LEGAL DESCRIPTION:

BEING 16.139 ACRES OUT OF THE 157.9603 ACRES OUT OF THE A.C. CALDWELL SURVEY NO.52, ABSTRACT 154 AND THE LEMUEL KIMBRO SURVEY NO.64, ABSTRACT 456, AND BEING THE TRACTS OF LAND CONVEYED TO KIMBRO ROAD ESTATES, LP PER DEED RECORDED AS DOCUMENT NO.2017180865 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND BEING 85.810 ACRES OUT OF THE 90.089 ACRES OUT OF THE A.C. CALDWELL SURVEY, ABSTRACT NUMBER 154, TRAVIS COUNTY, TEXAS AND BEING THE TRACTS OF LAND CONVEYED TO RHOF, LLC, A TEXAS LIMITED LIABILITY COMPANY, PER DEED RECORDED AS DOCUMENT NO.2017194263 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS ___ DAY OF _____, 20__

BY: _____
HONORABLE MAYOR DR. LARRY WALLACE JR.
MAYOR OF THE CITY OF MANOR, TEXAS

THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

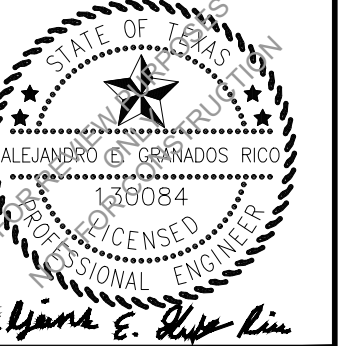
DATED THIS ___ DAY OF _____, 20__

BY: _____
PHILIP TRYON, P&Z CHAIRPERSON

Kimley»Horn

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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

02/22/2021



KHA PROJECT 069273601
DATE FEBRUARY 2021
SCALE: AS SHOWN
DESIGNED BY: BJB
DRAWN BY: ADD
CHECKED BY: AEC

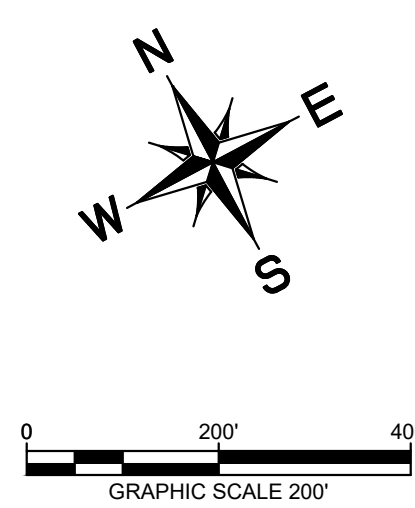
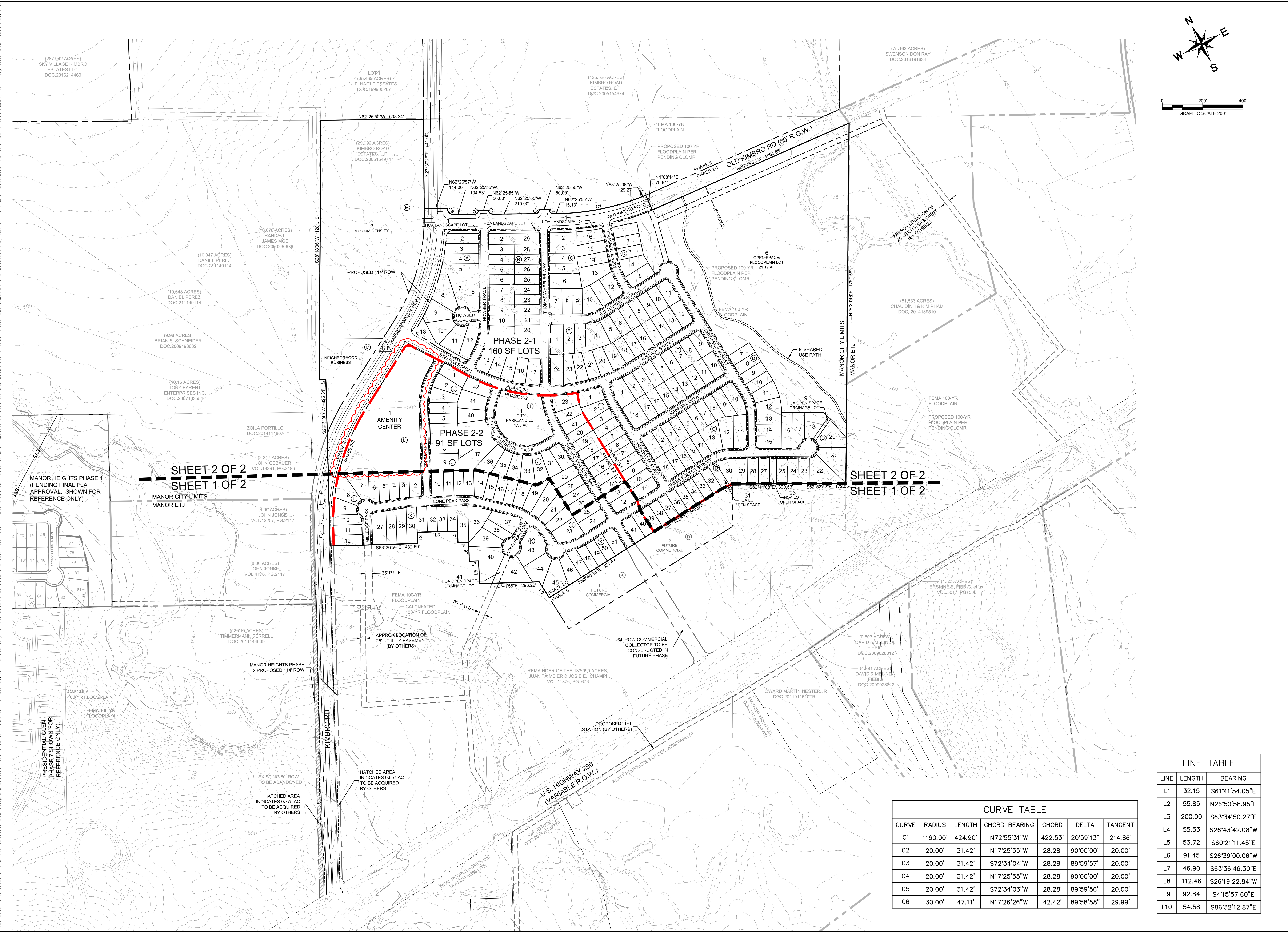
COVER SHEET

PRELIMINARY PLANS FOR
MANOR HEIGHTS
CITY OF MANOR
TRAVIS COUNTY, TEXAS

SHEET NUMBER
1

NO.	REVISIONS	DATE
R1	REVISION: SUBDIVISION LOTS ADDED AMENITY CENTER LOT	1/20/2021

Plotted By: Duffly, Daniel Date: February 22, 2021 10:41:19am File Path: K:\AUS_Civil\069255700_Sky Village South\069255700_Sky Village South\Manor Heights Phase 2\PlanSheets\Revision\PlanSheets\Overall Preliminary Plan.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	1160.00'	424.90'	N72°55'31"W	422.53'	20°59'13"	214.86'
C2	20.00'	31.42'	N17°25'55"W	28.28'	90°00'00"	20.00'
C3	20.00'	31.42'	S72°34'04"W	28.28'	89°59'57"	20.00'
C4	20.00'	31.42'	N17°25'55"W	28.28'	90°00'00"	20.00'
C5	20.00'	31.42'	S72°34'03"W	28.28'	89°59'56"	20.00'
C6	30.00'	47.11'	N17°26'26"W	42.42'	89°58'58"	29.99'

LINE	LENGTH	BEARING
L1	32.15	S61°41'54.05"E
L2	55.85	N26°50'58.95"E
L3	200.00	S63°34'50.27"E
L4	55.53	S26°43'42.08"W
L5	53.72	S60°21'11.45"E
L6	91.45	S26°39'00.06"W
L7	46.90	S63°36'46.30"E
L8	112.46	S26°19'22.84"W
L9	92.84	S41°57'57.60"E
L10	54.58	S86°32'12.87"E

REVISIONS

No.	DATE	REVISIONS
1	1/20/2021	BB

Item 1.
B

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 10814 JOLLYLLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78759
 PHONE: 512-418-1771 FAX: 512-418-1791
 WWW.KIMLEY-HORN.COM
 TEXAS REGISTERED ENGINEERING FIRM F-928

02/22/2021

Albert E. Ruppel

KHA PROJECT	069273601
DATE	FEBRUARY 2021
SCALE	AS SHOWN
DESIGNED BY	BJB
DRAWN BY	ADD
CHECKED BY	AEC

**OVERALL
PRELIMINARY PLAN**

**PRELIMINARY PLANS FOR
MANOR HEIGHTS
CITY OF MANOR
TRAVIS COUNTY, TEXAS**

SHEET NUMBER
4



April 21, 2021

City of Manor Development Services

Notification for a Subdivision Preliminary Plat

Case Number: 2021-P-1303-PP
 Case Manager: Scott Dunlop
 Contact: sdunlop@cityofmanor.org - 512-215-8262

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Preliminary Plat for Manor Heights Phase 2 Revision near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing upon a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

***Applicant:* Kimley-Horn and Associates**

***Owner:* Forestar (USA) Real Estate Group, Inc.**

The Planning and Zoning Commission will meet at 6:30PM on May 12, 2021 at 105 East Eggleston Street in the City Hall Council Chambers**.

You are being notified because you own property within 300 feet of the property for which this Subdivision Preliminary Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

** Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission meetings are being conducted via video conference and livestreamed on the City's Facebook page (facebook.com/cityofmanor) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting the link below where registration information will be posted with the agenda for the public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to publiccomments@cityofmanor.org. Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agenda for the May 12th Planning and Zoning Commission to see how the meeting will be conducted, whether via video conference or in-person, or by calling 512-215-8116. Planning and Zoning Commission agendas and speaker registration information can be found at the following link under the date of the meeting: http://www.cityofmanor.org/page/homepage_calendar. Agendas are posted 72 hours prior to the scheduled meeting.

Timmermann Terrell
PO BOX 4787
AUSTIN, TX 78765-4784

JONSE JOHN & RITA
PO BOX 21
MANOR, TX 78653-0021

PORTILLO ZOIL
13342 OLD KIMBRO ROAD
MANOR, TX 78653

GEBAUER JOHN JR
13330 OLD KIMBRO ROAD
MANOR, TX 78653

JONSE KIRK J & CATHY W
13326 OLD KIMBRO ROAD
MANOR TX, 78653

PARENT TONEY ENTERPRISES INC.
13350 OLD KIMRBO ROAD, BLDG A
MANOR, TX 78653

LEAK WILLIAM R & ERICA S
7401 NEZ PERCE TRCE
MANOR, TX 78653-9634

SWENSON DON RAY
8400 HIGH OAK DRIVE
AUSTIN, TX 78759-8135

MOE RANDALL JAMES
1 COUNTY ROAD 473
THRALL, TX 76578-8797

AVILES GABRIEL
2311 W HOWARD LAND
AUSTIN, TX 78728

PEREZ DANIEL
122000 JOHNSON ROAD
MANOR, TX 78653

SCHNEIRDER BRIAN S
PO BOX 1303
ELGIN, TX 78621

DINH CHAU QUANG & ANH KIM PHAM
1201 PORTERFIELD DRIVE
AUSTIN, TX 78753-1617



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Public Hearing: Conduct a public hearing upon a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.
Applicant: Carlson, Brigance & Doering, Inc.
Owner: Manor Apartments, LLC

BACKGROUND/SUMMARY:

This is a preliminary plat for the 1 10-acre tract behind Riata Ford where a multi-family development is in review. Gregg Manor will be extended to provide access to this property.

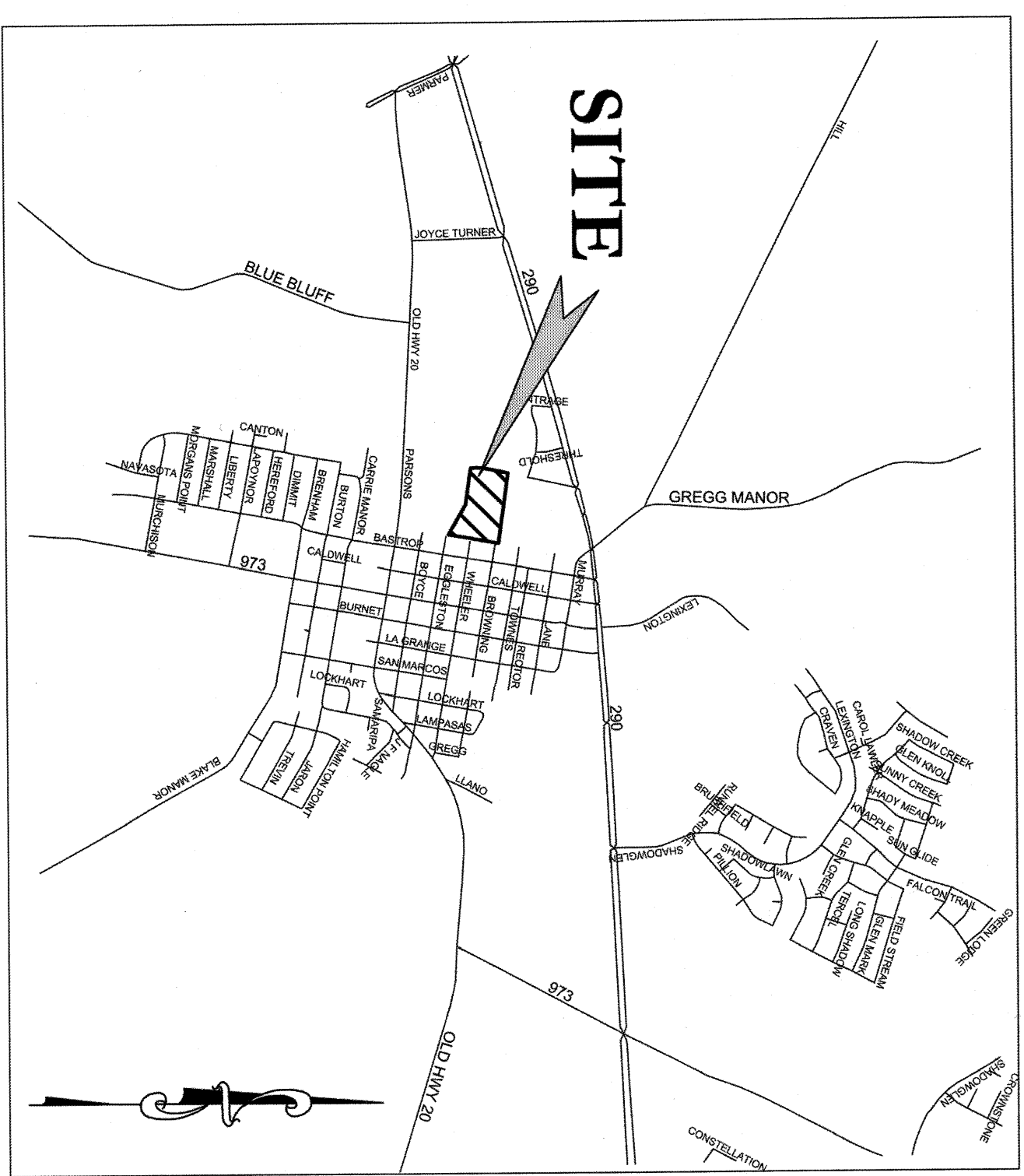
LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Notice Letter
- Mailing Labels

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission conduct a public hearing upon a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



LOCATION MAP
SCALE: 1"=2000'

MANOR APARTMENTS

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

- SHEET INDEX:**
- 1) COVER
 - 2) EXISTING CONDITIONS
 - 3) PROPOSED UTILITY IMPROVEMENTS
 - 4) TREE PROTECTION PLAN
 - 5) EXISTING DRAINAGE AREA MAP
 - 6) PROPOSED DRAINAGE AREA PLAN

LAND USE SUMMARY:
 LOT 1: 10.740 AC.
 R.O.W. DEDICATION: 0.143 AC.
 TOTAL ACREAGE: 10.883 AC.

ZONING:
 THIS PROJECT IS ZONED WF-2 (PRIOR DISTRICT NAME R-3)

WATERSHED:
 THIS PROJECT IS LOCATED IN THE GILLELAND CREEK WATERSHED.

THIS PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTING ZONES.

FLOOD PLAN:
 NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE ADMINISTRATION, AS SHOWN ON FIRM MAP NO(S). 48453C0480U & 48453C04585U, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

GENERAL NOTES:

DEVELOPER:
 W2 REAL ESTATE PARTNERS
 221 W. 6th STREET, SUITE 800
 AUSTIN, TEXAS 78701
 (512) 381-6119

RECORD OWNER:
 MANOR APARTMENTS LLC
 4600 TRIANGLE AVE, SUITE 6102
 AUSTIN, TEXAS 78751
 (512) 381-6119
 CONTACT: BRAD GARNER

ENGINEER:
 CARLSON, BRIGANCE & DOERING, INC.
 12129 RR 620 N, SUITE 600
 AUSTIN, TEXAS 78750
 (512)280-5160
 CONTACT: AMIR NAMAKFOROOSH, P.E.

ARCHITECT:
 STEINBERG DICKY COLLABORATIVE, LLP
 7701 N. LAMAR BLVD, SUITE 205
 AUSTIN, TEXAS 78752
 (512)271-7710
 CONTACT: AKITHA JAMISON, AIA

LANDSCAPE ARCHITECT:
 MESA DESIGN GROUP
 2001 N. LAMAR ST., SUITE 100
 DALLAS, TEXAS 75202
 (214)871-0568
 CONTACT: KEVIN BERNAUER, PLA

SURVEYOR:
 CP&Y
 1 CHISHOLM TRAIL, SUITE 130
 ROUND ROCK, TEXAS 78681
 (512)248-0065
 CONTACT: DAN FLAHERTY, RPLS

SUBMITTED BY:

[Signature]

AMIR NAMAKFOROOSH, P.E.
 LICENSED PROFESSIONAL ENGINEER NO. 124963
 CARLSON BRIGANCE & DOERING, INC.
 12129 RR 620 N, SUITE 600
 AUSTIN, TEXAS 78750
 (512) 280-5160
 FIRM: F--3791

DATE
 3/10/2021



CITY OF MANOR ACKNOWLEDGEMENTS:

THIS PRELIMINARY PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE 12th DAY OF May, 2021 A.D.

APPROVED:
[Signature]
 PHILIP TRON, CHAIRPERSON

ATTEST:
[Signature]
 LUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS, ON THIS THE 12th DAY OF May, 2021 A.D.

APPROVED:
[Signature]
 HONORABLE DR. LARRY WALLACE JR.,
 MAYOR OF THE CITY OF MANOR, TEXAS

ATTEST:
[Signature]
 LUVIA T. ALMARAZ,
 CITY SECRETARY



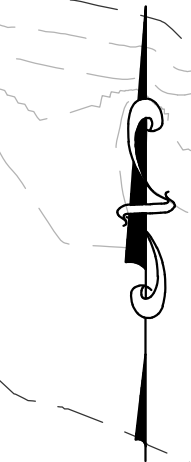
MANOR APARTMENTS

EXISTING CONDITIONS

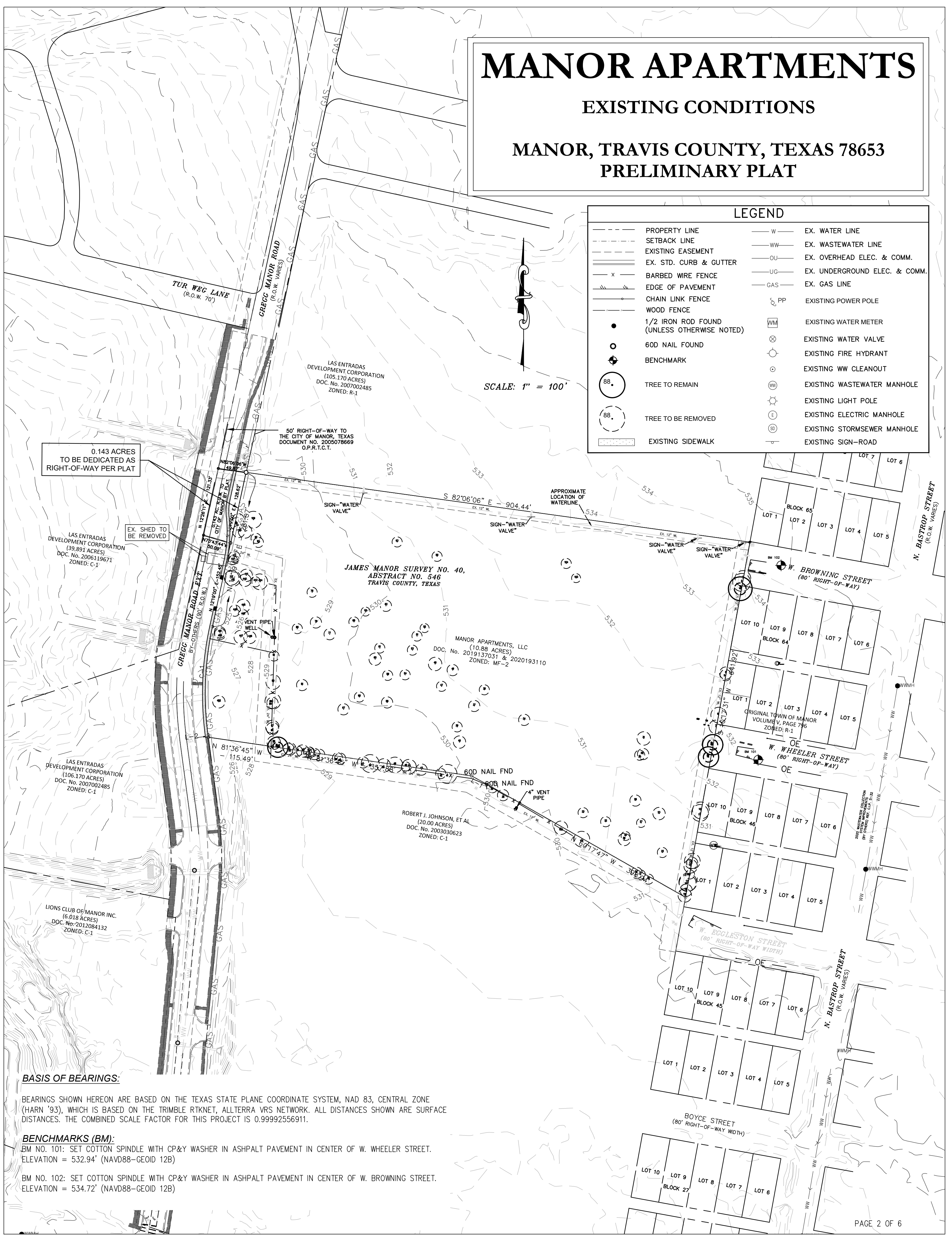
MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

LEGEND			
	PROPERTY LINE		EX. WATER LINE
	SETBACK LINE		EX. WASTEWATER LINE
	EXISTING EASEMENT		EX. OVERHEAD ELEC. & COMM.
	EX. STD. CURB & GUTTER		EX. UNDERGROUND ELEC. & COMM.
	BARBED WIRE FENCE		EX. GAS LINE
	EDGE OF PAVEMENT		EXISTING POWER POLE
	CHAIN LINK FENCE		EXISTING WATER METER
	WOOD FENCE		EXISTING WATER VALVE
	1/2 IRON ROD FOUND (UNLESS OTHERWISE NOTED)		EXISTING FIRE HYDRANT
	60D NAIL FOUND		EXISTING WW CLEANOUT
	BENCHMARK		EXISTING WASTEWATER MANHOLE
	TREE TO REMAIN		EXISTING LIGHT POLE
	TREE TO BE REMOVED		EXISTING ELECTRIC MANHOLE
	EXISTING SIDEWALK		EXISTING STORMSEWER MANHOLE
			EXISTING SIGN-ROAD



SCALE: 1" = 100'



0.143 ACRES TO BE DEDICATED AS RIGHT-OF-WAY PER PLAT

EX. SHED TO BE REMOVED

50' RIGHT-OF-WAY TO THE CITY OF MANOR, TEXAS DOCUMENT NO. 2005078669 O.P.R.T.C.T.

LAS ENTRADAS DEVELOPMENT CORPORATION (39.891 ACRES) DOC. No. 2006119671 ZONED: C-1

JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546 TRAVIS COUNTY, TEXAS

MANOR APARTMENTS, LLC (10.88 ACRES) DOC. No. 2019137031 & 2020193110 ZONED: MF-2

LAS ENTRADAS DEVELOPMENT CORPORATION (106.170 ACRES) DOC. No. 2007002485 ZONED: C-1

ROBERT J. JOHNSON, ET AL (20.00 ACRES) DOC. No. 2003030623 ZONED: C-1

LIONS CLUB OF MANOR INC. (6.018 ACRES) DOC. No. 2012084132 ZONED: C-1

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, CENTRAL ZONE (HARN '93), WHICH IS BASED ON THE TRIMBLE RTKNET, ALLTERRA VRS NETWORK. ALL DISTANCES SHOWN ARE SURFACE DISTANCES. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.99992556911.

BENCHMARKS (BM):

- BM NO. 101: SET COTTON SPINDLE WITH CP&Y WASHER IN ASPHALT PAVEMENT IN CENTER OF W. WHEELER STREET. ELEVATION = 532.94' (NAVD88-GEOID 12B)
- BM NO. 102: SET COTTON SPINDLE WITH CP&Y WASHER IN ASPHALT PAVEMENT IN CENTER OF W. BROWNING STREET. ELEVATION = 534.72' (NAVD88-GEOID 12B)

MANOR APARTMENTS

PROPOSED UTILITY IMPROVEMENTS

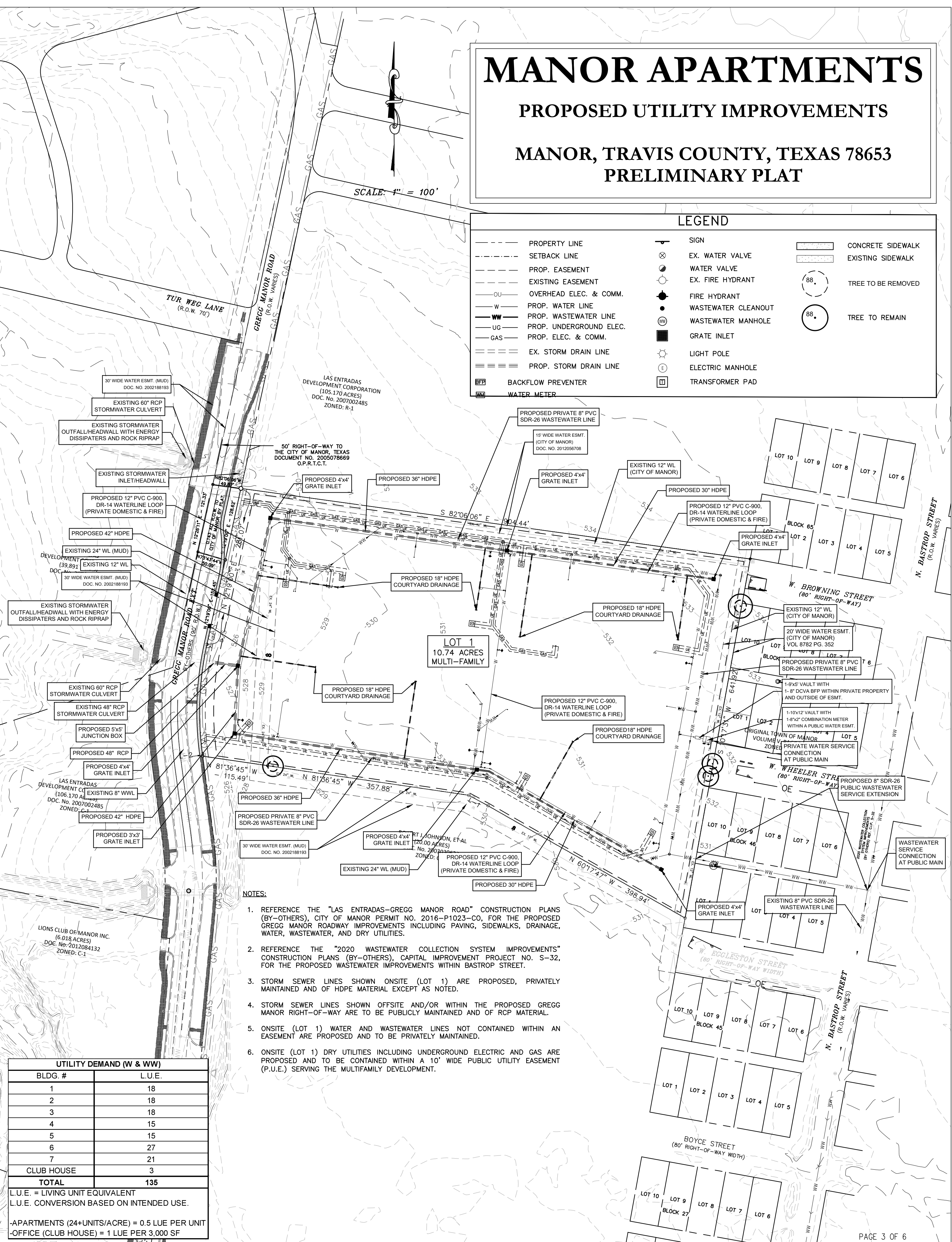
MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

SCALE: 1" = 100'

LEGEND

<p>--- PROPERTY LINE</p> <p>--- SETBACK LINE</p> <p>--- PROP. EASEMENT</p> <p>--- EXISTING EASEMENT</p> <p>--- OU OVERHEAD ELEC. & COMM.</p> <p>--- W PROP. WATER LINE</p> <p>--- WW PROP. WASTEWATER LINE</p> <p>--- UG PROP. UNDERGROUND ELEC.</p> <p>--- GAS PROP. ELEC. & COMM.</p> <p>--- EX. STORM DRAIN LINE</p> <p>--- PROP. STORM DRAIN LINE</p> <p>--- BFP BACKFLOW PREVENTER</p> <p>--- WM WATER METER</p>	<p>--- SIGN</p> <p>⊗ EX. WATER VALVE</p> <p>⊙ WATER VALVE</p> <p>⊙ EX. FIRE HYDRANT</p> <p>● FIRE HYDRANT</p> <p>● WASTEWATER CLEANOUT</p> <p>⊙ WASTEWATER MANHOLE</p> <p>■ GRATE INLET</p> <p>⊙ LIGHT POLE</p> <p>⊙ ELECTRIC MANHOLE</p> <p>⊙ TRANSFORMER PAD</p>	<p>▭ CONCRETE SIDEWALK</p> <p>▭ EXISTING SIDEWALK</p> <p>⊙ 88. TREE TO BE REMOVED</p> <p>⊙ 88. TREE TO REMAIN</p>
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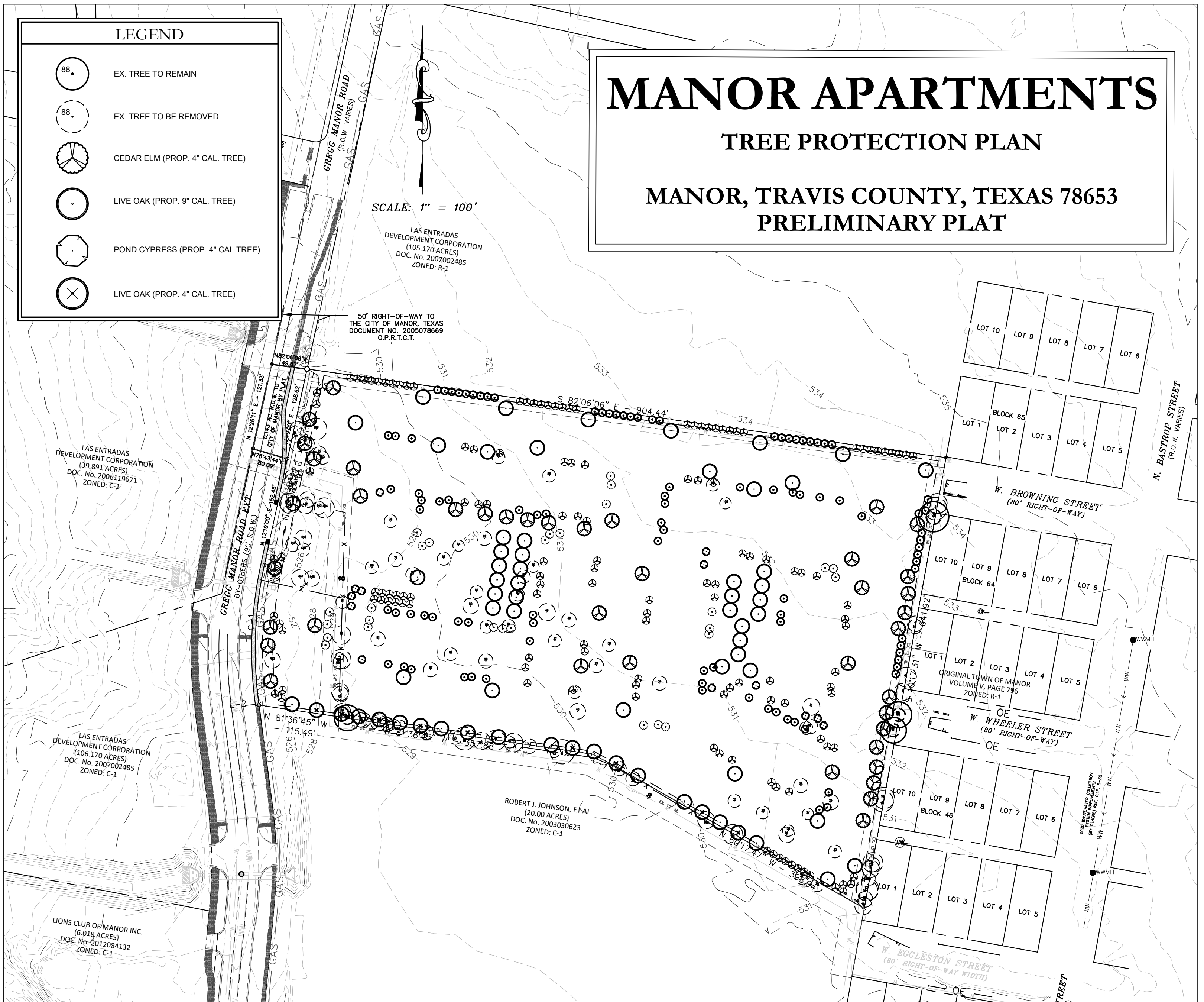


- NOTES:**
1. REFERENCE THE "LAS ENTRADAS-GREGG MANOR ROAD" CONSTRUCTION PLANS (BY-OTHERS), CITY OF MANOR PERMIT NO. 2016-P1023-CO, FOR THE PROPOSED GREGG MANOR ROADWAY IMPROVEMENTS INCLUDING PAVING, SIDEWALKS, DRAINAGE, WATER, WASTEWATER, AND DRY UTILITIES.
 2. REFERENCE THE "2020 WASTEWATER COLLECTION SYSTEM IMPROVEMENTS" CONSTRUCTION PLANS (BY-OTHERS), CAPITAL IMPROVEMENT PROJECT NO. S-32, FOR THE PROPOSED WASTEWATER IMPROVEMENTS WITHIN BASTROP STREET.
 3. STORM SEWER LINES SHOWN ONSITE (LOT 1) ARE PROPOSED, PRIVATELY MAINTAINED AND OF HDPE MATERIAL EXCEPT AS NOTED.
 4. STORM SEWER LINES SHOWN OFFSITE AND/OR WITHIN THE PROPOSED GREGG MANOR RIGHT-OF-WAY ARE TO BE PUBLICLY MAINTAINED AND OF RCP MATERIAL.
 5. ONSITE (LOT 1) WATER AND WASTEWATER LINES NOT CONTAINED WITHIN AN EASEMENT ARE PROPOSED AND TO BE PRIVATELY MAINTAINED.
 6. ONSITE (LOT 1) DRY UTILITIES INCLUDING UNDERGROUND ELECTRIC AND GAS ARE PROPOSED AND TO BE CONTAINED WITHIN A 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) SERVING THE MULTIFAMILY DEVELOPMENT.

UTILITY DEMAND (W & WW)	
BLDG. #	L.U.E.
1	18
2	18
3	18
4	15
5	15
6	27
7	21
CLUB HOUSE	3
TOTAL	135

L.U.E. = LIVING UNIT EQUIVALENT
L.U.E. CONVERSION BASED ON INTENDED USE.

-APARTMENTS (24+UNITS/ACRE) = 0.5 LUE PER UNIT
-OFFICE (CLUB HOUSE) = 1 LUE PER 3,000 SF



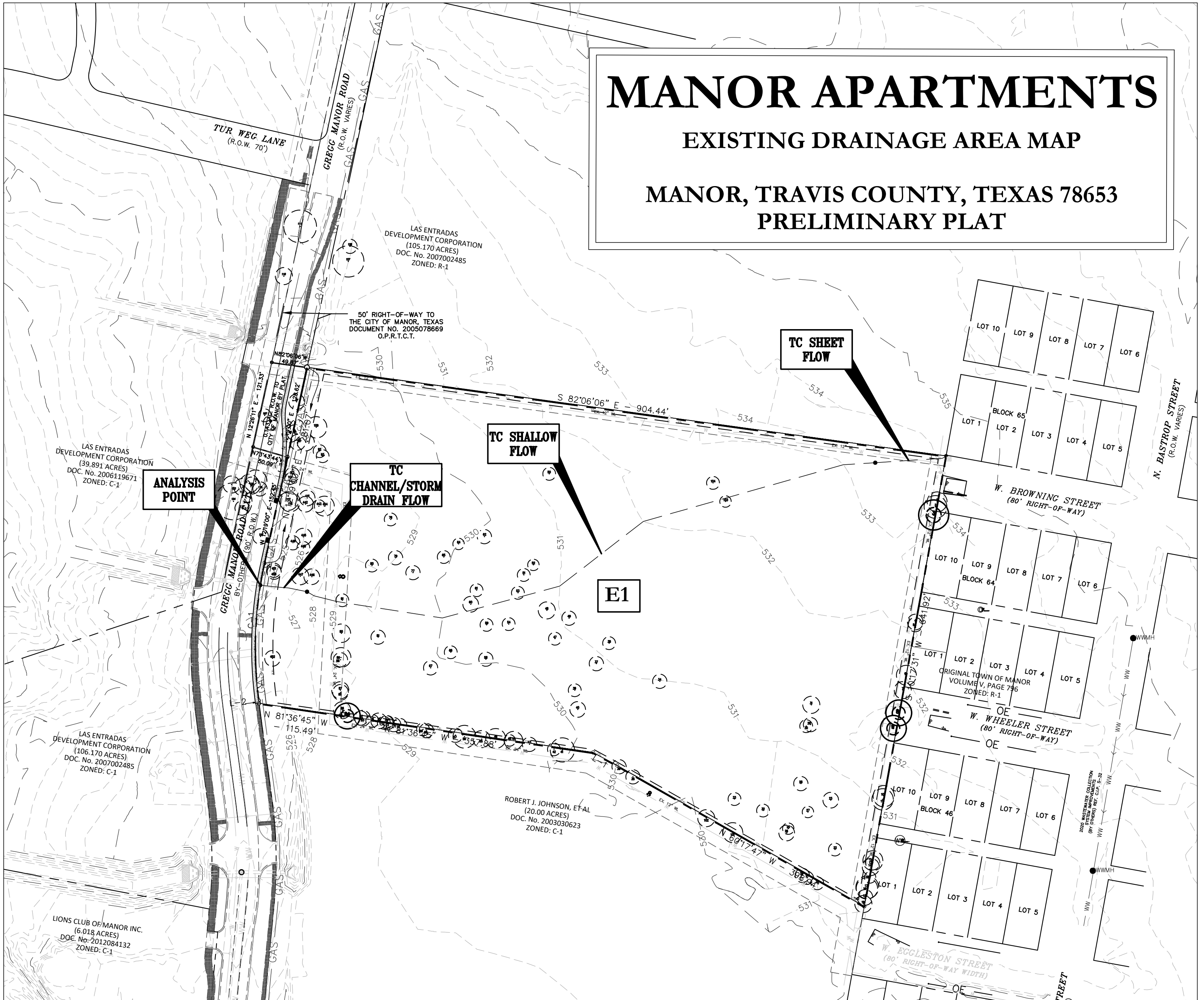
TREE LIST					
TREE No.	DESCRIPTION	TREE No.	DESCRIPTION	TREE No.	DESCRIPTION
1	(R)_14" HACKBERRY	37	(R)_10" HACKBERRY	73	(R)_9" HACKBERRY
2	(R)_16" HACKBERRY (11",10") M	38	(R)_9" HACKBERRY	74	(R)_9" HACKBERRY
3	_21" HACKBERRY	39	(R)_9" HACKBERRY	75	(R)_11" HACKBERRY
4	(R)_11" HACKBERRY	40	(R)_11" CEDAR	76	(R)_9" HACKBERRY
5	(R)_10" PECAN	41	(R)_17" HACKBERRY (12",10") M	77	(R)_10" CEDAR
6	(R)_14" HACKBERRY	42	(R)_9" HACKBERRY	78	(R)_9" HACKBERRY
7	(R)_12" HACKBERRY	43	(R)_10" HACKBERRY	79	(R)_10" CEDAR
8	_18" HACKBERRY (12",12") M	44	(R)_13" HACKBERRY	80	(R)_9" HACKBERRY
9	_18" HACKBERRY	45	(R)_8" HACKBERRY	81	(R)_10" CEDAR
10	(R)_15" HACKBERRY (11",7") M	46	(R)_14" HACKBERRY	82	(R)_10" HACKBERRY
11	(R)_15" HACKBERRY (8",7",6") M	47	(R)_9" HACKBERRY	83	(R)_11" HACKBERRY
12	(R)_14" HACKBERRY	48	(R)_12" CEDAR	84	_18" HACKBERRY (13",9") M
13	(R)_10" HACKBERRY	49	(R)_10" CEDAR	85	(R)_11" HACKBERRY
14	(R)_12" HACKBERRY	50	(R)_9" CEDAR	86	(R)_12" HACKBERRY
15	(R)_8" HACKBERRY	51	(R)_9" CEDAR	87	(R)_12" HACKBERRY
16	(R)_15" HACKBERRY	52	(R)_8" CEDAR	88	(R)_10" HACKBERRY
17	(R)_16" HACKBERRY	53	(R)_9" CEDAR	89	(R)_14" HACKBERRY
18	(R)_11" HACKBERRY	54	(R)_9" CEDAR	90	(R)_13" HACKBERRY (9",8") M
19	(R)_12" HACKBERRY	55	(R)_12" HACKBERRY (8",7") M	91	(R)_9" HACKBERRY
20	(R)_9" HACKBERRY	56	(R)_16" HACKBERRY	92	(R)_9" HACKBERRY
21	(R)_9" HACKBERRY	57	(R)_10" HACKBERRY	93	(R)_9" HACKBERRY
22	(R)_9" HACKBERRY	58	(R)_10" HACKBERRY	94	(R)_12" HACKBERRY
23	(R)_11" HACKBERRY (8",6") M	59	(R)_9" CEDAR	95	(R)_11" HACKBERRY
24	(R)_10" HACKBERRY (7",6") M	60	(R)_11" CEDAR	96	(R)_11" HACKBERRY
25	(R)_8" HACKBERRY	61	(R)_9" CEDAR	97	*(R)_11" ELM
26	(R)_11" HACKBERRY (7",7") M	62	(R)_10" CEDAR	98	*(R)_12" HACKBERRY
27	(R)_8" HACKBERRY	63	(R)_9" CEDAR	99	** (R)_10" HACKBERRY
28	(R)_10" HACKBERRY	64	(R)_8" CEDAR		
29	(R)_10" HACKBERRY (7",6") M	65	(R)_9" CEDAR	101	(R)_14" HACKBERRY
30	(R)_9" CEDAR	66	(R)_9" CEDAR	102	(R)_12" HACKBERRY (8",8") M
31	(R)_12" CEDAR	67	(R)_10" CEDAR	103	(R)_8" ELM
32	(R)_9" CEDAR	68	(R)_10" HACKBERRY	104	(R)_9" HACKBERRY
33	(R)_9" CEDAR	69	(R)_9" HACKBERRY		
34	(R)_10" CEDAR	70	(R)_10" HACKBERRY		
35	(R)_10" HACKBERRY	71	(R)_10" HACKBERRY	107	** (R)_9" HACKBERRY
36	(R)_10" HACKBERRY	72	(R)_10" HACKBERRY	108	(R)_10" HACKBERRY (7",5") M
				109	(R)_15" ELM (9",8",5") M
				110	** (R)_12" MESQUITE
				111	** (R)_23" MESQUITE
				112	** (R)_8" HACKBERRY
				113	(R)_10" CEDAR
				114	(R)_8" HACKBERRY
				115	** (R)_8" HACKBERRY
				116	(R)_14" MESQUITE
				117	(R)_13" MESQUITE
				118	** (R)_10" HACKBERRY
				119	** (R)_16" HACKBERRY (12" 7") M
				120	** (R)_12" HACKBERRY
				121	** (R)_13" HACKBERRY (7",6",5") M
				122	** (R)_12" HACKBERRY
				123	** (R)_12" HACKBERRY (8",8") M
				124	** (R)_26" MESQUITE
				125	** (R)_10" HACKBERRY
				126	** (R)_11" HACKBERRY (8" 5") M
				127	** (R)_22" WILLOW (15",7",5") M
				128	** (R)_10" WILLOW
				441	(R)_11" HACKBERRY
				442	(R)_11" HACKBERRY
				443	(R)_9" HACKBERRY
				444	(R)_14" MESQUITE
				445	(R)_12" HACKBERRY
				446	(R)_11" HACKBERRY
				447	(R)_12" HACKBERRY
				448	(R)_9" HACKBERRY
				449	(R)_10" HACKBERRY
				450	(R)_10" HACKBERRY
				451	(R)_10" HACKBERRY
				452	(R)_11" HACKBERRY
				6198	(R)_17" HACKBERRY (12",11") M
				6201	(R)_13" HACKBERRY (6",6",5",5",4") M
				6206	** (R)_8" HACKBERRY (6",4") M
				6210	(R)_7" CHINABERRY

MITIGATION TABLE	
PROTECTED TREE INCHES:	1,585
PROTECTED INCHES REMOVED:	1,510
PRESERVATION (%):	4.7
TREE INCHES IN ROW (EXEMPT):	247
TOTAL INCHES REQ. MITIGATION:	1,263
TOTAL INCHES OF PROPOSED TREES:	1,435

NOTES:

- ANY EXISTING TREE EIGHT (8) INCHES OR LARGER ARE PROTECTED AND CANNOT BE REMOVED WITHOUT A CITY PERMIT.
- ANY EXISTING TREES SHOWN TO BE REMOVED MUST BE MITIGATED FOR BASED ON A REPLACEMENT RATIO (INCHES REMOVED TO INCHES PLANTED) OF:
 - 1:2 FOR SIGNIFICANT TREES EIGHTEEN (18) INCHES IN CALIPER AND LARGER, AND.
 - 1: 1 FOR SIGNIFICANT TREES BETWEEN EIGHT (8) AND EIGHTEEN (18) IN CALIPER
 - REPLACEMENT TREES SHALL NOT BE REQUIRED FOR THE REMOVAL OF TREES SMALLER THAN EIGHT (8) INCHES IN CALIPER. THE REMOVAL OF SIGNIFICANT TREES LARGER THAN EIGHTEEN INCHES IN CALIPER REQUIRE COMMISSION APPROVAL.
- TREE REMOVAL AND SUBSEQUENT REPLACEMENT TREE/MITIGATION REQUIRED FOR THE DEVELOPMENT OF LOT 1 IS SUBJECT TO APPLICABLE CITY ORDINANCES & CODES AND WILL BE SUBMITTED AS PART OF THE SITE PLAN PERMIT SUBJECT TO APPROVAL FROM THE CITY OF MANOR UNDER SEPARATE PERMIT.

UNPROTECTED TREES = < 8-in; PROTECTED TREES = > 8-in; PROTECTED TREES (Commission Approval Req.) = ≥ 18-in
 **DENOTES TREE IN ROW REMOVED BY OTHERS (LAS ENTRADAS - GREGG MANOR ROAD; PERMIT NO. 2016-P1023-CO)
 *DENOTES TREE IN ROW
 (R) = TREE TO BE REMOVED
 M = MULTI-TRUNK TREE
 TREE SURVEY CONDUCTED BY CP&Y, INC. ON 09/30/2019.



MANOR APARTMENTS

EXISTING DRAINAGE AREA MAP

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

Composite C Calculations

Basin	Area acre	Area sq ft	Pervious area sq ft	Impervious area sq ft	Impervious %	Pervious %	Runoff Coefficient			
							2 yr	10 yr	25 yr	100 yr
E1	10.740	467834	467834	0	0.00%	100.00%	0.33	0.38	0.42	0.49

Flow Calculations

Basin	Tc (min)	2-Year			10-Year			25-Year			100-Year		
		C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)
E1	24.64	0.33	3.30	11.70	0.38	4.93	20.10	0.42	6.08	27.44	0.49	8.04	42.30
TOTAL SITE		11.70	TOTAL SITE	20.10	TOTAL SITE	27.44	TOTAL SITE	42.30					

SCS TIME OF CONCENTRATIONS

EXISTING: E1

SCS Time of Concentration

Sheet $T_c = (0.42 \times (n \times L)^8) / (P2^{0.5} \times S^{0.4})$ P2 = 4.06
 L = 100 n = 0.150 s = 0.006
 14.08 min

Shallow $T_{c-unpaved} = L / (60 \times 16.1345 \times s^{0.5})$ or $T_{c-paved} = L / (60 \times 20.3282 \times s^{0.5})$
 L = 849 U or P = U s = 0.007
 = 10.48 min

Channel $T_c = V / (L \times 60)$
 V = 13.33 L = 66
 = 0.08 min
 Tc Total = 24.64 min
 Lag = 14.79

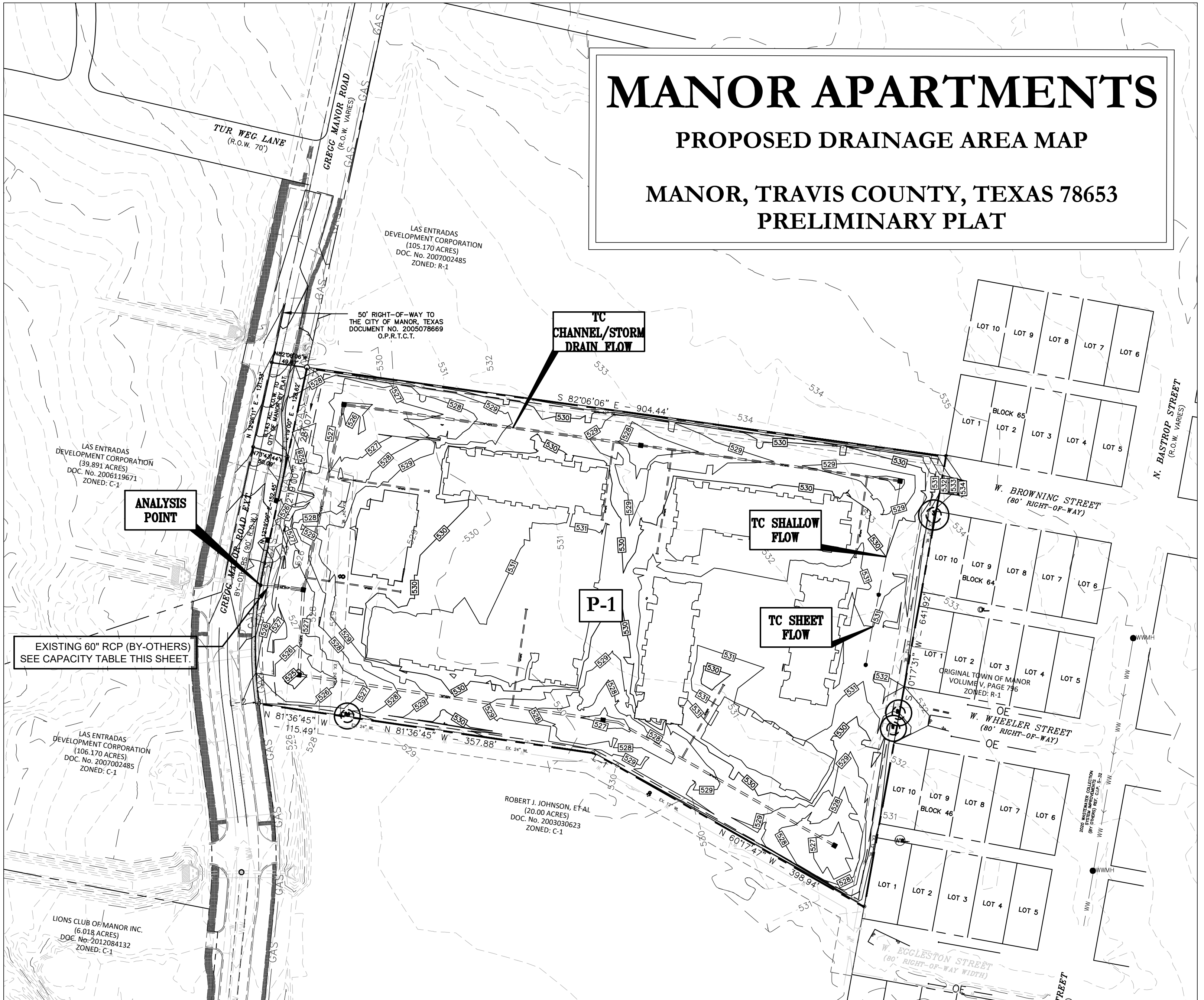


SCALE: 1" = 100'

LEGEND

- 936 --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- 930 --- PROPOSED MAJOR CONTOUR
- --- PROPOSED MINOR CONTOUR
- ➔ FLOW ARROW

- NOTES:**
- GREGG MANOR ROAD AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS BY OTHERS. REF. "LAS ENTRADAS GREGG MANOR ROAD" CONSTRUCTION PLANS; COM PERMIT No. 2016-P1023-CO.
 - THIS DEVELOPMENT IS SUBJECT TO THE DETENTION ANALYSIS FOR LAS ENTRADAS, PREPARED BY AECOM, DATED OCTOBER 30, 2008. THE SUBJECT TRACT IS LIMITED TO 70% IMPERVIOUS COVER UNDER FULLY DEVELOPED CONDITIONS; NO DETENTION REQUIRED.
 - EXISTING FLOWS WERE DETERMINED USING ATLAS-14, ZONE 2.



MANOR APARTMENTS

PROPOSED DRAINAGE AREA MAP

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

Composite C Calculations

Basin	Area acre	Area sq ft	Pervious area		Impervious area		Runoff Coefficient			
			sq ft	%	sq ft	%	2 yr	10 yr	25 yr	100 yr
P-1	10.740	467834	140537	30.04%	327297	69.96%	0.61	0.68	0.73	0.81

FLOW CALCULATIONS

Basin	Tc (min)	2-Year			10-Year			25-Year			100-Year		
		C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)
P-1	6.4	0.61	5.85	38.34	0.68	8.78	64.21	0.73	10.81	84.46	0.81	14.23	124.04
TOTAL SITE		38.34	TOTAL SITE		64.21	TOTAL SITE		84.46	TOTAL SITE			124.04	

SCS TIME OF CONCENTRATIONS

PROPOSED: P-1

SCS Time of Concentration

Sheet	$T_c = (0.42 \times (n \times L)^8) / (P2^{0.5} \times S^{0.4})$	P2 = 4.06
	L = 100 n = 0.016	s = 0.006
		2.35 min
Shallow	$T_c\text{-unpaved} = L / (60 \times 16.1345 \times s^{0.5})$ or $T_c\text{-paved} = L / (60 \times 20.3282 \times s^{0.5})$	
	L = 168 U or P = P	s = 0.010
		1.38 min
Channel	$T_c = V / (L \times 60)$	
	V = 7 L = 1118	= 2.66 min
		Tc Total = 6.39 min
		Lag = 3.83

DESIGN CAPACITY (60" RCP)

	25-YR (CFS)	100-YR (CFS)
*EXISTING	102.4	149.51
**PROPOSED	84.6	124.6
DELTA	-17.8	-24.91

*THE 60" STORM SEWER STUB IS DESIGNED FOR THE FULLY DEVELOPED CONDITION BASED ON THE PROPOSED DA MAP (OFF-1, A-3, & A-4) SHOWN ON THE LAS ENTRADAS - GREGG MANOR CONSTRUCTION PLANS (PERMIT NO. 2016-P1023-CO).

**PROPOSED FLOWS WERE DETERMINED USING ATLAS-14 ZONE 2.



SCALE: 1" = 100'

LEGEND

- 936 --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- 930 --- PROPOSED MAJOR CONTOUR
- --- PROPOSED MINOR CONTOUR
- ➔ FLOW ARROW

- NOTES:**
- 1.) GREGG MANOR ROAD AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS BY OTHERS. REF. "LAS ENTRADAS GREGG MANOR ROAD" CONSTRUCTION PLANS; COM PERMIT No. 2016-P1023-CO.
 - 2.) THIS DEVELOPMENT IS SUBJECT TO THE DETENTION ANALYSIS FOR LAS ENTRADAS, PREPARED BY AECOM, DATED OCTOBER 30, 2008. THE SUBJECT TRACT IS LIMITED TO 70% IMPERVIOUS COVER UNDER FULLY DEVELOPED CONDITIONS; NO DETENTION REQUIRED.
 - 3.) EXISTING AND PROPOSED FLOWS WERE DETERMINED USING ATLAS-14, ZONE 2.



April 21, 2021

City of Manor Development Services

Notification for a Subdivision Preliminary Plat

Case Number: 2020-P-1284-PP

Case Manager: Scott Dunlop

Contact: sdunlop@cityofmanor.org - 512-215-8262

The City of Manor Planning and Zoning Commission will be conducting a Regularly Scheduled meeting for the purpose of considering and acting upon on a Subdivision Preliminary Plat for the Manor Apartments Subdivision near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing upon a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

***Applicant:* Carlson, Brigance & Doering, Inc.**

***Owner:* Manor Apartments, LLC**

The Planning and Zoning Commission will meet at 6:30PM on May 12, 2021 at 105 East Eggleston Street in the City Hall Council Chambers.**

You are being notified because you own property within 300 feet of the property for which this Subdivision Preliminary Plat has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners during the discussion of this item.

** Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission meetings are being conducted via video conference and livestreamed on the City's Facebook page (facebook.com/cityofmanor) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting the link below where registration information will be posted with the agenda for the public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to publiccomments@cityofmanor.org. Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agenda for the May 12th Planning and Zoning Commission to see how the meeting will be conducted, whether via video conference or in-person, or by calling 512-215-8116. Planning and Zoning Commission agendas and speaker registration information can be found at the following link under the date of the meeting: http://www.cityofmanor.org/page/homepage_calendar. Agendas are posted 72 hours prior to the scheduled meeting.

LAS ENTRADAS DEVELOPMENT CORPORATION (PROPERTY ID 820830)

9900 US HIGHWAY 290 E, MANOR, TX 78653

LAS ENTRADAS DEVELOPMENT CORPORATION (PROPERTY ID 236851)

9900 US HIGHWAY 290 E, MANOR, TX 78653

JAIME RUBEN & LYNDA (PROPERTY ID 238574)

P.O. BOX 286, MANOR, TX 78653

GUAJARDO HERMINIA (PROPERTY ID 238575)

P.O. BOX 97, MANOR, TX 78653

MATILDY VASQUEZ JR & ROSE MARY SAMARIPA (PROPERTY ID 238576)

P.O. BOX 203, MANOR, TX 78653

NEWSOME FLORENCE ET AL (PROPERTY ID 238588)

P.O. BOX 133, MANOR, TX 78653

GARCIA EPIFANIO DELGADO & MARIBEL DELGADO HUERTA (PROPERTY ID 238590)

5503 HIBISCUS, AUSTIN, TX 78724

WHEELER STREET PARTNERSHIP (PROPERTY ID 238591)

P.O. BOX 170309, AUSTIN, TX 78717

LOGGINS RAYDELL (PROPERTY ID 238593)

P.O. BOX 47, MANOR, TX 78653

AAA FIRE & SAFETY EQUIPMENT CO INC (PROPERTY ID 238594)

P.O. BOX 16401, AUSTIN, TX 78761

SEPECO (PROPERTY ID 238595)

P.O. BOX 170309, AUSTIN, TX 78717

BOWEN BRADLEY & PAULA (PROPERTY ID 238597)

18109 WHITEWATER CV, ROUND ROCK, TX 78681

SEPECO (PROPERTY ID 238598)

P.O. BOX 170309, AUSTIN, TX 78717

FIELD MARY R ETAL (PROPERTY ID 238611)

P.O. BOX 184, MANOR, TX 78653

TAYLOR FLOYD ROY ETAL (PROPERTY ID 238612)

7010 BLESSING, AUSTIN, TX 78752

CABELLO PEDRO & ERICA CABELLO (PROPERTY ID 238613)

209 N BASTROP ST, MANOR, TX 78653

BOWEN BRADLEY G & PAULA B (PROPERTY ID 238614)

18109 WHITEWATER CV, ROUND ROCK, TX 78681

GUERRERO JULIO & CYNTHIA (PROPERTY ID 238616)

P.O. BOX 142265, AUSTIN, TX 78714

BUSH KAITANYA L (PROPERTY ID 238617)

P.O. BOX 218, MANOR, TX 78653

EASLEY LENORA (PROPERTY ID 238618)

307 W BOYCE ST, MANOR, TX 78653

JONSE JOHN & RITA (PROPERTY ID 240872)

P.O. BOX 21, MANOR, TX 78653

GUAJARDO ANSELMA (PROPERTY ID 240873)

P.O. BOX 295, MANOR, TX 78653

GUAJARDO ANSELMA (PROPERTY ID 240874)

P.O. BOX 295, MANOR, TX 78653

DE LA LUZ FILIBERTO & EDUVIGES DE LA LUZ CHAPARRO (PROPERTY ID 240875)

204 RED OAK CIR, AUSTIN, TX 78753

JONSE JOHN & RITA (PROPERTY ID 240876)

P.O. BOX 21, MANOR, TX 78653

EASLEY LENORA (PROPERTY ID 500833)

P.O. BOX 734, MANOR, TX 78653

JOHNSON ROBERT J & CURT D JOHN (PROPERTY ID 547111)

501 W KOENIG LN, AUSTIN, TX 78751

BOWEN BRADLEY & PAULA (PROPERTY ID 708857)

18109 WHITEWATER CV, ROUND ROCK, TX 78681

JONSE JOHN & RITA (PROPERTY ID 714626)

P.O. BOX 21, MANOR, TX 78653

JONSE JOHN A (PROPERTY ID 714627)

14311 BOIS D ARC LN, MANOR, TX 78653



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Public Hearing: Conduct a public hearing upon a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).

Applicant: GarzaEMC

Owner: Butler Family Partnership, Ltd.

BACKGROUND/SUMMARY:

This property is a portion in the city limits of Manor and majority in Austin’s 2-mile ETJ. It also is more than half impaired by the Gilliland Creek floodplain so the developable area (without approved floodplain modifications) is approximately 28.50 acres. Our zoning recommends that Light Industrial areas be “along major roadways, but not directly along US Hwy 290.” On our Thoroughfare Plan, Hill Lane is proposed to be a primary collector (2 lanes at 41’ of pavement in 64’ of ROW) and there is an additional primary collector outside the city limits that would connect Hill Lane north to the intersection of Gregg Manor and Fuchs Grove. The future roadway sizing would be sufficient to handle traffic and the location meets the intent of the criteria to not front along 290 but be in close proximity.

LEGAL REVIEW: Not Applicable

FISCAL IMPACT: No

PRESENTATION: No

ATTACHMENTS: Yes

- Rezoning Map
- Area Image
- Thoroughfare Map
- IN-1 Land Uses
- Notice Letter
- Mailing Labels

STAFF RECOMMENDATION:

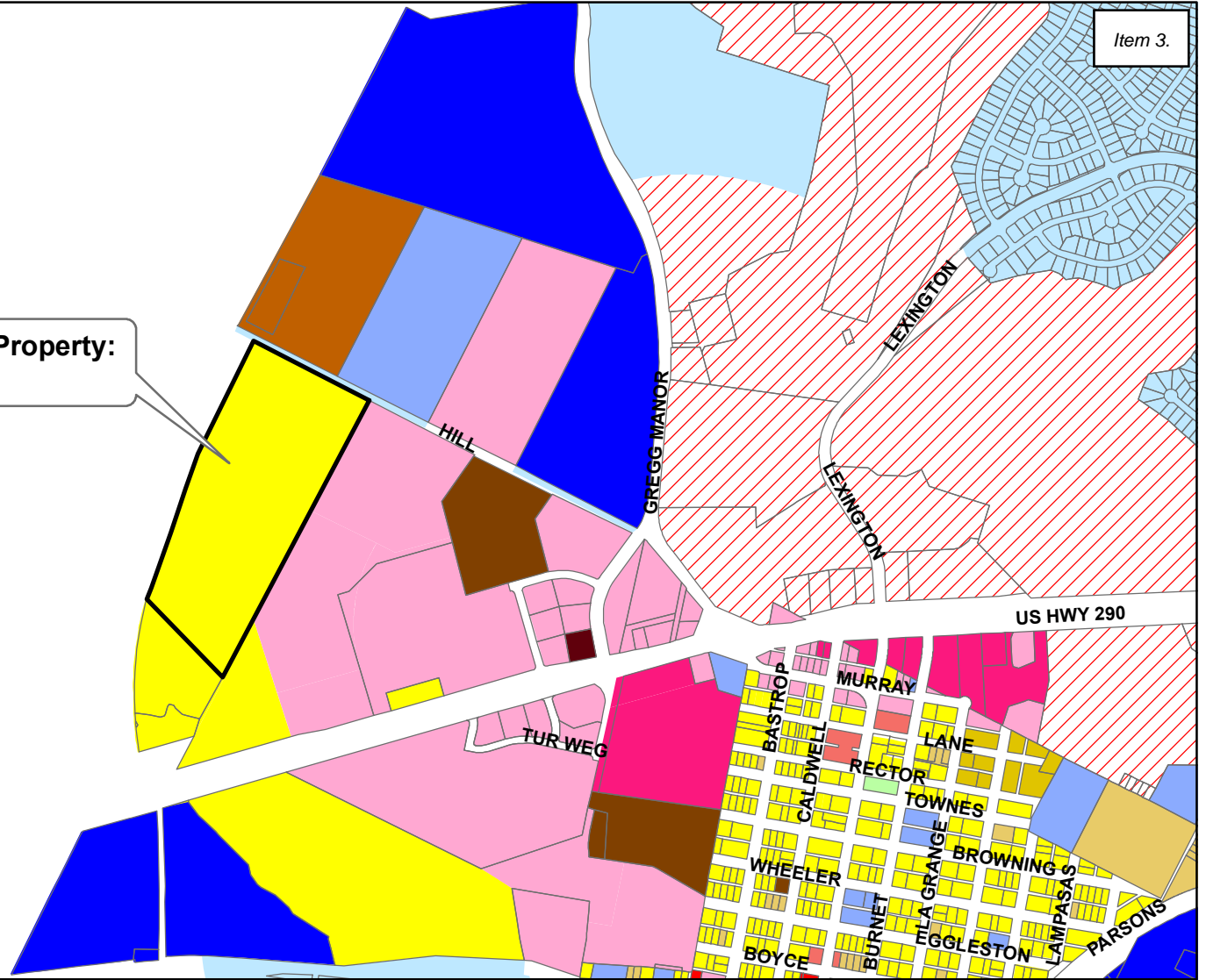
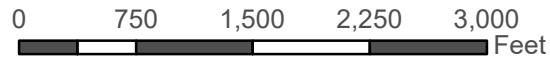
It is the City staff’s recommendation that the Planning and Zoning Commission conduct a public hearing upon a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

Subject Property:
Hill Lane



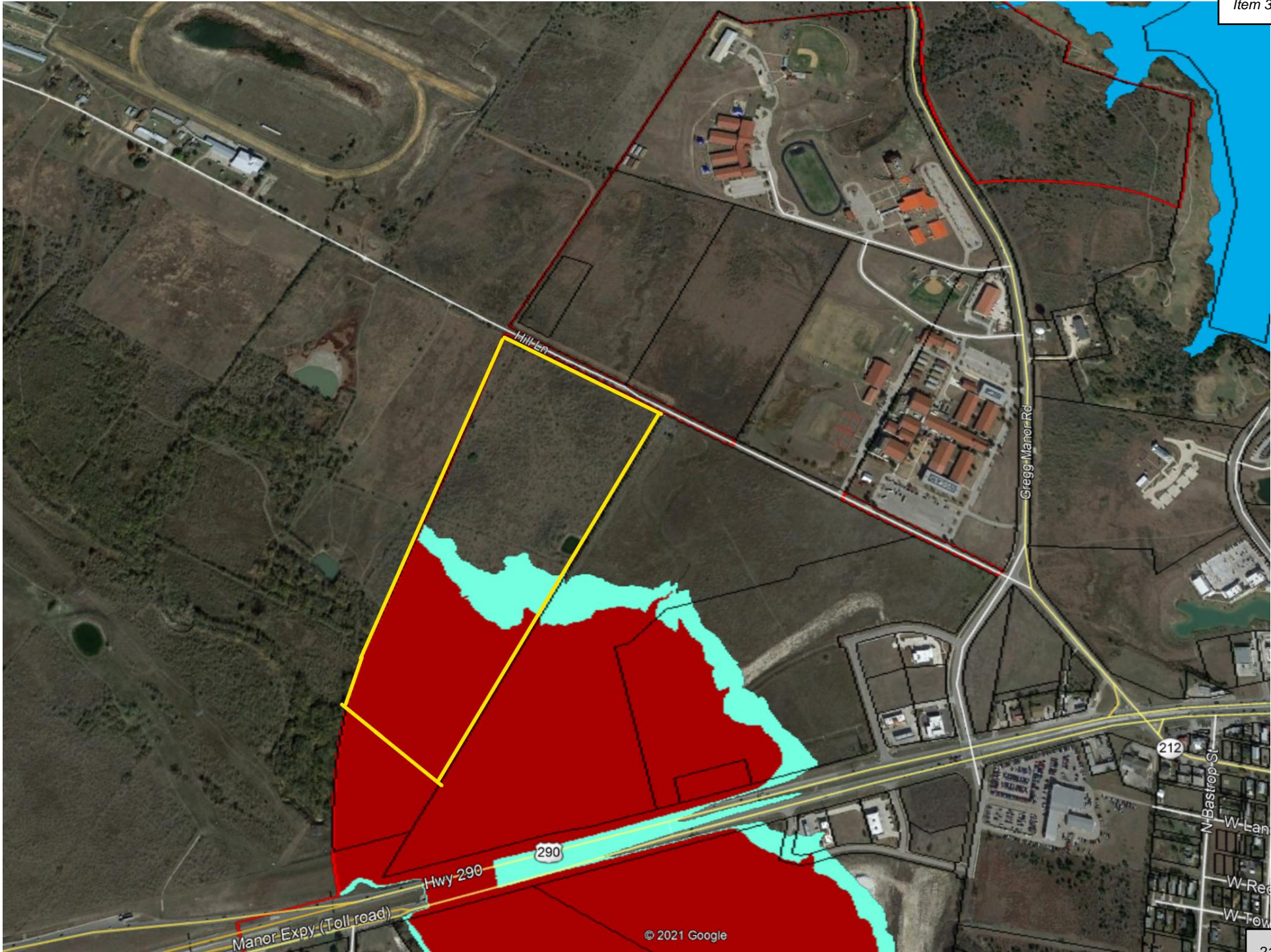
1 inch = 1,231 feet

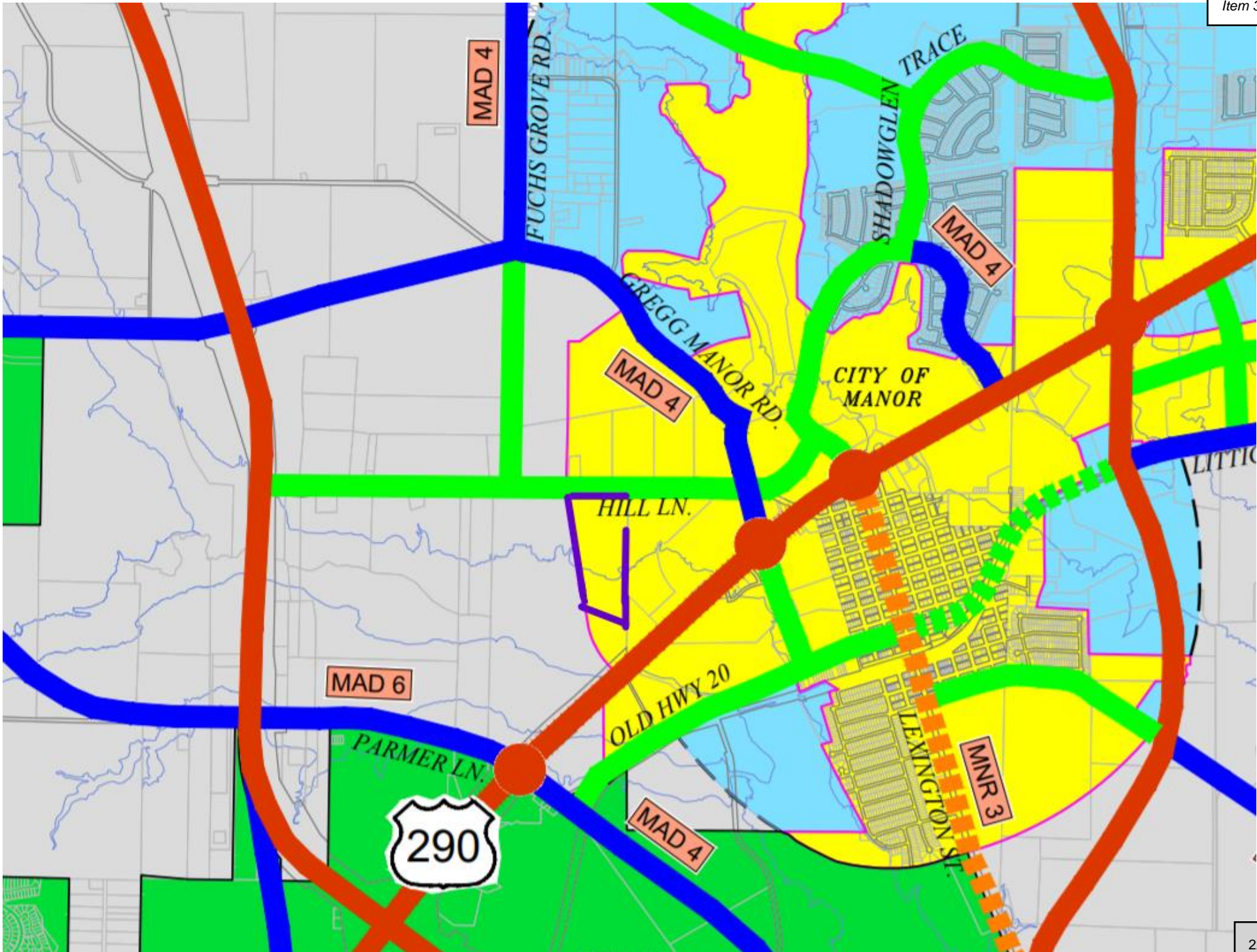


Proposed Zoning: IN-1 Light Industrial

*Current Zoning:
Single Family (SF-1)*

Zone			
	A - Agricultural		C-3 - Heavy Commercial
	SF-1 - Single Family Suburban		NB - Neighborhood Business
	SF-2 - Single Family Standard		DB - Downtown Business
	TF - Two Family		IN-1 - Light Industrial
	MF-1 - Multi-Family 15		IN-2 - Heavy Industrial
	MF-2 - Multi-Family 25		PUD - Planned Unit Development
			ETJ
			MH-1 - Manufactured Home
			I-1 - Institutional Small
			I-2 - Institutional Large
			GO - General Office
			C-1 - Light Commercial
			C-2 - Medium Commercial





(b) *Non-residential uses in non-residential and mixed-use zoning districts.*

Item 3.

EXPAND

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Adult day care		P	P					P	P		
Adult-oriented businesses									C/S	C/S	
Alcoholic beverage establishment					S	P	P	P	P		
Amusement (indoor)							C	C	C		
Amusement (outdoor)								C	C		
Antique shop					P	P	P	P	P		
Art studio or gallery		P	P		P	P	P	P	P	P	
Automobile repair (major)								C	C	C	C
Automobile repair (minor)							C	C	C	C	
Automobile sales and rental								C	C		
Automobile washing								C	C		

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Brewery, micro								P	P	P	P
Brewery, regional									P	P	P
Brewpub						P	P	P	P		
Business support services					P	P	P	P	P		
Campground	S	S	S								
Cemetery	S	P	P								
Child care center (intermediate)		P	P	P	P	P	P	P	P		
Child care center (large)		P	P	P	P	P	P	P	P		
Club or lodge		P	P	P	P	P	P	P	P		
Commercial off-street parking						C	C	C	C		
Communication services or facilities				P			P	P	P	P	
Construction and equipment sales (Major)									P	P	

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Construction and equipment sales (Minor)								P	P	P	
Construction services								C	C	C	C
Consumer repair services					P	P	P	P	P		
Contractor's shop									C	C	C
Data center				P					P	P	
Day camp	S	P	P								
Distillery, micro								P	P	P	P
Distillery, regional									P	P	P
Event center		P	P		C/S	C/S	C/S	P	P		
Financial services				C	C	C	C	C	C		
Financial services, alternative								C	C		
Florist					C	C	C	C	C		
Food court establishment								C/S	C/S	C/S	
Food preparation						C	C	C	C	C	C

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Food sales					C	C	C	C	C		
Funeral services		C	C		C	C	C	C	C	C	C
Game room								C/S	C/S	C/S	
Gasoline station (full-service)								C	C		
Gasoline station (limited)					C/S		C/S	C	C		
General retail sales (convenience)				P	P	P	P	P	P		
General retail sales (general)					P	P	P	P	P		
Golf course/country club	S										
Governmental facilities	P	P	P	P	P	P	P	P	P	P	P
Hospital services		P	P	P							
Hotel					C/S	C	C	C	C		
Industrial use, light									P	P	
Industrial use, heavy											P

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Kennel								C	C	C	
Laundry services								P	P	P	P
Laundry services (self)					P	P	P	P	P		
Liquor sales					P	P	P	P	P		
Medical clinic		P	P	P	P	P					
Metal recycling entity											C
Mini-storage warehouse								C	C	C	
Offices, government	P	P	P	P	P	P	P	P	P	P	P
Offices, medical		P	P	P	P	P					
Offices, professional		P	P	P	P	P					
Offices, showroom									P	P	
Offices, warehouse									C	C	C
Off-site accessory parking		P	P	P		P	P	P	P	P	P
Pawnshop								C/S	C/S	C/S	

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Personal improvement services					P	P	P	P	P		
Personal services					P	P	P	P	P		
Printing and publishing				C	C	C	C	C	C		
Product development services (general)				P					P	P	
Product development services (hazard)											P
Recreational vehicle park								C/S	C/S		
Recreational vehicle sales, service, and rental								C	C	C	
Recycling operation (indoor)										P	P
Recycling operation (outdoor)											C
Religious assembly	P	P	P	P	P	P	P	P	P	P	P

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Research services (general)				P					P	P	
Research services (hazard)											P
Restaurant				P	P	P	P	P	P		
Restaurant—Drive- in or drive-through							C	C	C		
School, boarding		P	P				P	P	P		
School, business or trade		P	P				P	P	P		
School, college or university		P	P					P	P		
School, private or parochial		P	P				P	P	P		
School, public		P	P				P	P	P		
Shooting range, indoor									P	P	
Smoke shop or tobacco store								P	P		
Theater							P	P	P		

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Transportation terminal								C	C	C	C
Truck and trailer sales and rental								C	C	C	
Truck stop									P	P	
Utility services, major			C							C	C
Utility services, minor	P	P	P	P	P	P	P	P	P	P	P
Vehicle storage facility									C	C	
Veterinary services, large								C	C		
Veterinary services, small					C	C	C	C	C		
Wireless transmission facilities (WTF), attached	C	C	C	C	C/S	C/S	C	C	C	C	C
Wireless transmission facilities (WTF) monopole	C/S	C/S	C/S	C/S			C/S	C/S	C/S	C/S	C/S

Item 3.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Wireless transmission facilities (WTF), stealth	C	C	C	C	C/S	C/S	C	C	C	C	C
Zoo, private								P	P		



April 21, 2021

City of Manor Development Services

Notification for a Rezoning Application

Case Number: 2021-P-1323-ZO
 Case Manager: Scott Dunlop
 Contact: sdunlop@cityofmanor.org - 512-215-8262

The City of Manor Planning and Zoning Commission and City Council will be conducting regularly scheduled meetings for the purpose of considering and acting upon on a Rezoning Application for 43.92 acres in the 9900 block of Hill Lane, Manor, TX. The request will be posted on the agenda as follows:

Public Hearing: Conduct a public hearing upon a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).

Applicant: GarzaEMC

Owner: Butler Family Partnership, Ltd.

The Planning and Zoning Commission will meet at 6:30PM on May 12, 2021 at 105 East Eggleston Street in the City Hall Council Chambers.**

The City Council will meet at 7:00PM on May 19, 2021 at 105 East Eggleston Street in the City Hall Council Chambers.**

You are being notified because you own property within 300 feet of the property for which this Rezoning Application has been filed. Comments may be addressed to the email address or phone number above. Any communications received will be made available to the Commissioners and Council Members during the discussion of this item.

** Due to the declared Public Health Emergency related to COVID-19, at the time of this notification Planning and Zoning Commission and City Council meetings are being conducted via video conference and livestreamed on the City's Facebook page (facebook.com/cityofmanor) and the Chambers is closed to the public.

Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting the link below where registration information will be posted with the agenda for the public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to publiccomments@cityofmanor.org. Once registered, instructions will be emailed to you on how to join the video conference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

You may refer to the posted agendas for the May 12th Planning and Zoning Commission and May 19th City Council to see how the meeting will be conducted, whether via video conference or in-person, or by calling 512-215-8116. Agendas and speaker registration information can be found at the follow link under the date of the meeting: http://www.cityofmanor.org/page/homepage_calendar. Agendas are posted 72 hours prior to the scheduled meeting.

2020 ADELANTE LLC
300 BOWIE ST STE 106-A
AUSTIN, TX 78703-4661

ROMAN CATHOLIC DIOCESE OF
AUSTIN TEXAS
6625 HWY 290E
AUSTIN, TX 78723-1025

LAS ENTRADAS DEVELOPMENT
CORPORATION
9900 US HIGHWAY 290 E
MANOR, TX 78653-9720

TRAVIS COUNTY
PO BOX 1748
AUSTIN, TX 78767-1748

MANOR DOWNS
PO BOX 141309
AUSTIN, TX 78714-1309

BUTLER FAMILY PARTNERSHIP LTD
PO BOX 9190
AUSTIN, TX 78766-9190



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of April 14, 2021, Regular Session.

BACKGROUND/SUMMARY:

LEGAL REVIEW: *Not Applicable*
FISCAL IMPACT: *NO*
PRESENTATION: *NO*
ATTACHMENTS: *YES*

- April 14, 2021 Regular Session Minutes

STAFF RECOMMENDATION:

It is the City staff's recommendation that the Planning and Zoning Commission approve the Planning and Zoning Commission minutes of the April 14, 2021, Called Special Session.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



**PLANNING AND ZONING COMMISISON
REGULAR SESSION MINUTES
APRIL 14, 2021
Via Telephone/Video Conference
(Zoom Meeting)**

The meeting was live streamed on Manor Facebook Live beginning at 6:30 p.m.
<https://www.facebook.com/cityofmanor/>

Pursuant to Governor Greg Abbott's temporary suspension of various provisions of the Texas Open Meetings Act to allow for telephonic or videoconference meetings of governmental bodies that are accessible to the public in an effort to reduce in person meetings that assemble large groups of people the Planning and Zoning Commission meeting scheduled for Wednesday, April 14th, was only open to the public via remote access.

The following instructions were provided to the general public.

Instructions for Public Speaking:

- Members of the public that wish to speak during public comments, public hearing or an agenda item will need to register in advance by visiting www.cityofmanor.org where a registration link will be posted on the calendar entry for each public meeting. You will register by filling in the speaker card available for that specific meeting and submitting it to publiccomments@cityofmanor.org. Once registered, instructions will be emailed to you on how to join the videoconference by calling in. Your Speaker Card must be received two (2) hours prior to scheduled meeting.

Upon receiving instructions to join zoom meeting the following rules will apply:

- All speakers must address their comments to the Chairperson rather than to individual Commission Members or city staff. Speakers should speak clearly into their device and state their name and address prior to beginning their remarks. Speakers will be allowed three (3) minutes for testimony. Speakers making personal, impertinent, profane or slanderous remarks may be removed from the meeting.

All votes were conducted by a Roll Call Vote, meaning each Commissioner would be called on separately to cast their vote.

PRESENT VIA ZOOM:

Philip Tryon, Chair, Place 3

COMMISSIONERS:

Julie Leonard, Vice Chair, Place 1
 Jacob Hammersmith, Place 2 (Absent)
 Prince John Chavis, Place 4
 Vacant, Place 5
 Cecil Meyer, Place 6 (Absent)
 Lakesha Small, Place 7

CITY STAFF:

Scott Dunlop, Assistant Development Services Director

REGULAR SESSION – 6:30 P.M.

With a quorum of the Planning and Zoning (P&Z) Commission present via video/telephone conference, the regular session of the Manor P&Z Commission was called to order by Chairperson Tryon at 6:33 p.m. on Wednesday, April 14, 2021.

PUBLIC COMMENTS

There were no public comments received prior to the meeting.

PUBLIC HEARING

- 1. Conduct a public hearing on a rezoning request for 2.13 acres, more or less, Lot 4, Bluebonnet Business Park, Section One, and being located at 15721 US Hwy 290 E from Agricultural (A) to Heavy Commercial (C-3). Applicant: Keepers Land Planning. Owner: Lisa Nehring**

City staff recommended that the P&Z Commission conduct a public hearing.

Chair Tryon opened the public hearing.

Assistant Development Service Director Dunlop gave a summary of the item.

Assistant Development Service Director Dunlop stated 2 letters addressed to the P&Z Commission was received and gave a summary of the letters. Mr. James Mercer, 15710 Voelker Lane, Elgin, Texas, expressed in his letter that he was opposed to rezoning to any commercial type. Mr. Brent Wesley Amos who is Director of Bluebonnet Neighborhood Association, P.O. Box 1034, Manor, Texas, expressed in his letter that he was opposed to rezoning to a Heavy Commercial (C-3), but not opposed to a Medium Commercial (C-2).

Assistant Development Service Director Dunlop answered questions from the Commissioners regarding the location of the property, intended use of the property, environment impact and how the C-2 and C-3 zoning would affect the purposed plan of the business.

Ricca Keeper with Keepers Land Planning, 3712 Apple Vista Circle, Pflugerville, Texas, answered questions presented by the P&Z Commission regarding the rezoning request.

MOTION: Upon a motion made by Commissioner Chavis and Seconded by Vice Chair Leonard to close the public hearing.

There was no further discussion.

Motion to close carried 4-0

2. **Conduct a public hearing on a Preliminary Plat for Manor Heights Subdivision Phase 3 Revision, two hundred ninety-seven (297) lots on 146.46 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX. Applicant: Kimley-Horn and Associates. Owner: Forestar**

City Staff recommended that the P&Z Commission conduct a public hearing.

Chair Tryon opened the public hearing.

Assistant Development Service Director Dunlop gave a summary of the item.

MOTION: Upon a motion made by Vice Chair Leonard and Seconded by Commissioner Small to close the public hearing.

There was no further discussion.

Motion to close carried 4-0

CONSENT AGENDA

3. **Consideration, discussion, and possible action to approve the Planning and Zoning Commission Minutes of March 17, 2021, Called Special Session.**

City staff recommended that the P&Z Commission approve the consent agenda.

MOTION: Upon a motion made by Commissioner Small and Seconded by Commissioner Chavis to approve the consent agenda.

There was no further discussion.

Motion to approve carried 4-0

REGULAR AGENDA

- 4. Consideration, discussion, and possible action on a rezoning request for 2.13 acres, more or less, Lot 4, Bluebonnet Business Park, Section One, and being located at 15721 US Hwy 290 E from Agricultural (A) to Heavy Commercial (C-3). Applicant: Keepers Land Planning. Owner: Lisa Nehring.**

City staff recommended that the P&Z Commission approve C-2 Medium Commercial on a rezoning request for 2.13 acres, more or less, Lot 4, Bluebonnet Business Park, Section One, and being located at 15721 US Hwy 290 E.

Assistant Development Service Director Dunlop gave a summary of the item.

Ricca Keepers with Keepers Land Planning, 3712 Apple Vista Circle, Pflugerville, TX 78660, submitted a speaker card in support of this item and spoke on this item during the public hearing.

Discussion was held regarding the options available for approval.

MOTION: Upon a motion made by Vice Chair Leonard and Seconded by Commissioner Chavis to approve the rezoning request for 2.13 acres, more or less, Lot 4, Bluebonnet Business Park, Section One, and being located at 15721 US Hwy 290 E from Agricultural (A) to Medium Commercial (C2).

There was no further discussion.

Motion to approve carried 4-0

- 5. Consideration, discussion, and possible action on a Preliminary Plat for Manor Heights Subdivision Phase 3 Revision, two hundred ninety-seven (297) lots on 146.46 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX. Applicant: Kimley-Horn and Associates. Owner: Forestar.**

City staff recommended that the P&Z Commission approve the Preliminary Plat for Manor Heights Subdivision Phase 3 Revision, two hundred ninety-seven (297) lots on 146.46 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

Assistant Development Service Director Dunlop gave a summary of the item.

Alex Granados with Kimley-Horn and Associates, 10814 Jollyville Road, Building 4, Suite 200, Austin, Texas, submitted a speaker card that he was available for questions; however, did not wish to speak.

MOTION: Upon a motion made by Commissioner Chavis and Seconded by Vice Chair Leonard to approve the Preliminary Plat for Manor Heights Subdivision Phase 3 Revision, two hundred ninety-seven (297) lots on 146.46 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

There was no further discussion.

Motion to approve carried 4-0

- 6. Consideration, discussion, and possible action on a Final Plat for Lagos Subdivision Phase 2, 123 lots on 37.12 acres, more or less, and being located near the intersection of N. FM 973 and East Brenham Street, Manor, TX. Applicant: Kimley-Horn and Associates. Owner: 706 Development Corp.**

City staff recommended that the P&Z Commission approve the Final Plat for Lagos Subdivision Phase 2, 123 lots on 37.12 acres, more or less, and being located near the intersection of N. FM 973 and East Brenham Street, Manor, TX.

Jacob Kondo with Kimley-Horn, 10814 Jollyville Rd., Campus IV, STE 200, Austin, Texas, submitted a speaker card; however, he did not wish to speak but was available to answer any questions.

Assistant Development Service Director Dunlop gave a summary of the item and answered questions from the P&Z Commissioners regarding the designated commercial use property.

Discussion was held regarding the location, accessibility, number of units being built of the property.

MOTION: Upon a motion made by Commissioner Small and Seconded by Commissioner Chavis to approve the Final Plat for Lagos Subdivision Phase 2, 123 lots on 37.12 acres, more or less, and being located near the intersection of N. FM 973 and East Brenham Street, Manor, TX.

There was no further discussion.

Motion to approve carried 4-0

- 7. Consideration, discussion, and possible action on a Final Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX. Applicant: Carlson, Brigance & Doering Inc. Owner: Manor Apartments, LLC.**

City staff recommended that the P&Z Commission approve a Final Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

Assistant Development Service Director Dunlop gave a summary of the item and answered questions about location of property.

MOTION: Upon a motion made by Vice Chair Leonard and Seconded by Commissioner Chavis to approve the Final Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

There was further discussion.

Motion to approve carried 4-0

- 8. Consideration, discussion, and possible action on a Coordinated Sign Plan for Lexington Center located at 11211 US Hwy 290 E., Manor, TX. Applicant: Austin Sign Builders. Owner: Latipac Property Management, Inc.**

City staff recommended that the P&Z Commission approve the Coordinated Sign Plan for Lexington Center located at 11211 US Hwy 290 E., Manor, TX.

Assistant Development Service Director Dunlop gave a summary of the item and answered questions from the Commission.

Discussion was help regarding this sign location, compliance with city code, and how it affects present and future tenants.

MOTION: Upon a motion made by Commissioner Small and Seconded by Vice Chair Leonard to approve the Coordinated Sign Plan for Lexington Center located at 11211 US Hwy 290 E., Manor, TX.

There was no further discussion.

Motion to approve carried 4-0

- 9. Consideration, discussion, and possible action on a Joined Lot Affidavit for Lots 1 and 2, Block 25, Town of Manor, locally known as 104 S. Bastrop Street. Applicant: Tegwen Sneed Owner: Tegwen Sneed**

City staff recommended that the P&Z Commission approve the Joined Lot Affidavit for Lots 1 and 2, Block 25, Town of Manor, locally known as 104 S. Bastrop Street.

Assistant Development Service Director Dunlop gave a summary of the item.

MOTION: Upon a motion made by Commissioner Chavis and Seconded by Commissioner Small to approve the Joined Lot Affidavit for Lots 1 and 2, Block 25, Town of Manor, locally known as 104 S. Bastrop Street.

There was no further discussion.

Motion to approve carried 4-0

ADJOURNMENT

MOTION: Upon a motion made by Commissioner Chavis and Seconded by Commissioner Small to adjourn the regular session of the P&Z Commission at 7:13 p.m. on Wednesday, April 14, 2021.

There was no further discussion.

Motion to approve carried 4-0

These minutes approved by the P&Z Commission on the 12th day of May 2021.

APPROVED:

Philip Tryon
Chair

ATTEST:

Scott Dunlop
Assistant Development Services Director

DRAFT MINUTES



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.
Applicant: Kimley-Horn and Associates
Owner: Forestar (USA) Real Estate Group, Inc.

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. This plat revision is related to the Phase 3 revision that was approved at last month’s P&Z. The developer is moving their amenity center from Phase 3 across the street into Phase 2. The total number lots that is actually being modified is 14, but the revision met the threshold for the entire plat to be re-approved.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Summary Letter
- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission approve a Preliminary Plat for Manor Heights Subdivision Phase 2 Revision, two hundred sixty-five (265) lots on 105.63 acres, more or less, and being located near the intersection of US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**

January 25, 2021

City of Manor
 Planning and Development Review Department
 105 E. Eggleston Street
 Manor, Texas 78653

■
 10814 Jollyville Road
 Building IV, Suite 300
 Austin, Texas
 78759

**Re: *Summary Letter – Manor Heights Phase 2
 Preliminary Plan Application
 Northeast intersection of Old Kimbro Rd and Highway 290.
 Manor, Texas 78653***

To Whom It May Concern:

Please accept this Summary Letter for the above referenced project. Manor Heights is a proposed residential subdivision located north of Highway 290 at the northeast intersection of Old Kimbro Road and Highway 290 in the City of Manor, Travis County. This Preliminary Plan Application is proposed for Phase 2 Section 1 and Phase 2 Section 2. The existing property is approximately 248 acres of mostly undeveloped land. Phases 1 and 2 encompass approximately 111 acres of this property.

The proposed improvements include 251 residential lots, sidewalk, storm sewer, water, wastewater and other associated site improvements. This project is located within the Cottonwood Creek watershed of the Colorado River basin.

A portion of the site is in the Federal Emergency Management Agency's 100-year floodplain per Flood Insurance Rate Map 48453C0485J dated August 18, 2014 and within the boundaries of the 100 year floodplain as shown on the Flood Insurance Rate Map community panel no. 484533C0505H, effective 09/26/2008, Travis County, Texas and incorporated areas. Proposed development will impact the FEMA floodplain. A CLOMR is being submitted to reduce the area located within the floodplain. All lots adjacent to the FEMA floodplain will have minimum floor elevations per City of Manor requirements.

A detention waiver has been prepared by Kimley-Horn. After analyzing the overall area contributing to the floodplain on site, it has been determined that detention should not be required as proposed flows do not have a negative impact on flows downstream. The Detention Waiver has been attached as a part of this submittal with additional supporting information.

If you have any questions or comments regarding this request, please contact me at 512-782-0594.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Gabriel Bermudez, P.E.

Plotted By: Duff, Daniel Date: February 22, 2021 10:39:50am File Path: K:\AUS-CIVIL\06925700 Sky Village South-Cad\Manor Heights-Phase 2-Preliminary Phase 2-PlanSheets\Revision\PlanSheets\Cover Sheet.dwg
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REVISION TO PRELIMINARY PLANS

FOR

MANOR HEIGHTS

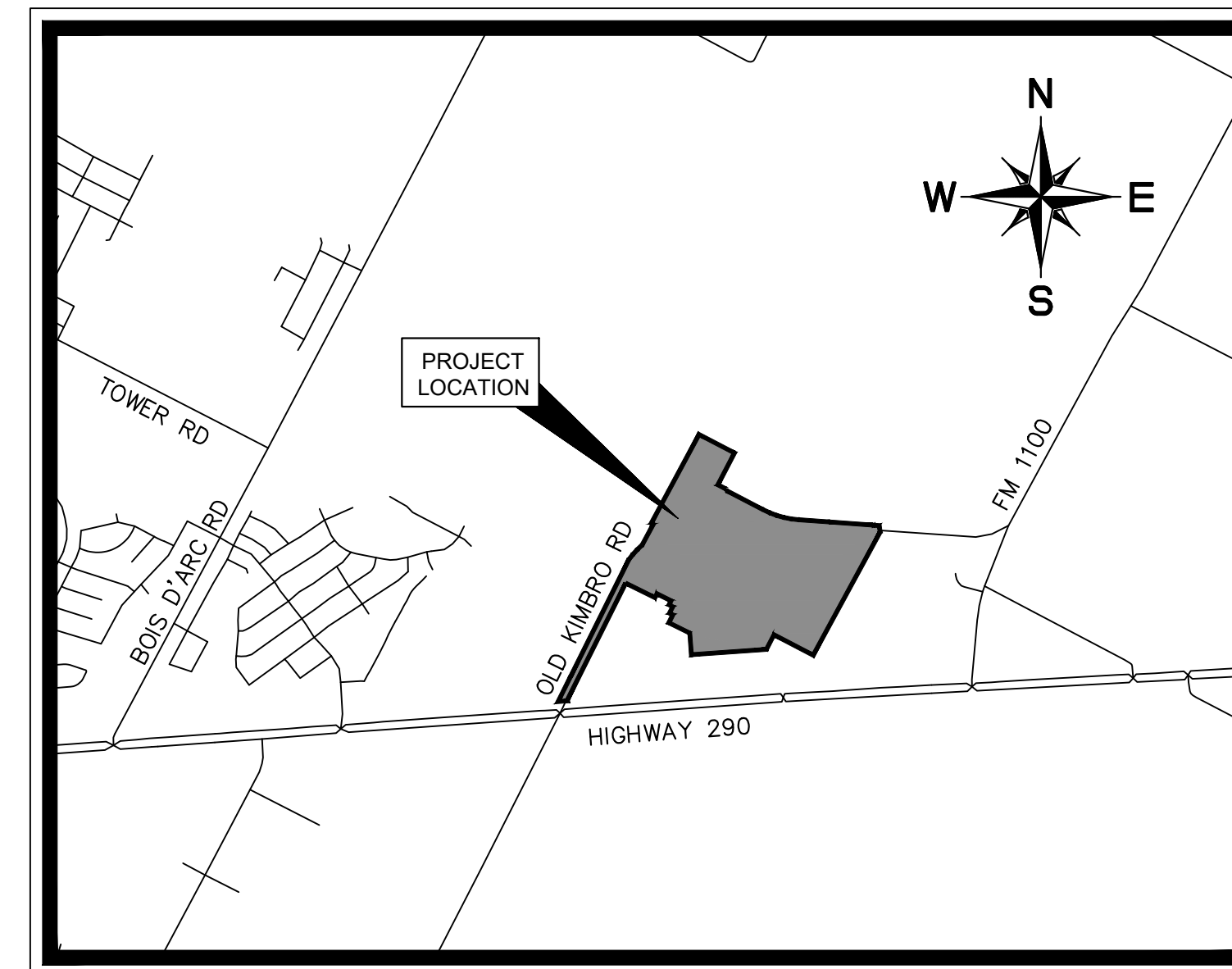
PHASE 2 SECTION 1 & PHASE 2 SECTION 2 CITY OF MANOR, TRAVIS COUNTY, TEXAS

ENGINEER / SURVEYOR
Kimley»Horn

10814 JOLLYVILLE ROAD STATE OF TEXAS
AVALLON IV, SUITE 300 REGISTRATION NO. F-928
AUSTIN, TEXAS 78759
PH. (512) 418-1771
CONTACT: ALEX E. GRANADOS, P.E.

OWNER/DEVELOPER

FORESTAR REAL ESTATE GROUP, INC.
10700 PECAN PARK BLVD., SUITE 150
AUSTIN, TEXAS 78750
CONTACT: JEFF SCOTT



VICINITY MAP
SCALE: 1" = 2,000'

REVISION DATE: 02/22/2021

FEBRUARY 2021

Sheet Number	Sheet Title
1	COVER SHEET
2	EXISTING CONDITIONS
3	TREE DATA
4	OVERALL PRELIMINARY PLAN
5	PRELIMINARY PLAN (SHEET 1 OF 3)
6	PRELIMINARY PLAN (SHEET 2 OF 3)
7	PRELIMINARY PLAN (SHEET 3 OF 3)
8	UTILITY PLAN (SHEET 1 OF 2)
9	UTILITY PLAN (SHEET 2 OF 2)
10	OVERALL DRAINAGE AREA MAP
11	INLET DRAINAGE AREA MAP (SHEET 1 OF 2)
12	INLET DRAINAGE AREA MAP (SHEET 2 OF 2)
13	DRAINAGE CALCULATIONS

LEGAL DESCRIPTION:

BEING 16.139 ACRES OUT OF THE 157.9603 ACRES OUT OF THE A.C. CALDWELL SURVEY NO.52, ABSTRACT 154 AND THE LEMUEL KIMBRO SURVEY NO.64, ABSTRACT 456, AND BEING THE TRACTS OF LAND CONVEYED TO KIMBRO ROAD ESTATES, LP PER DEED RECORDED AS DOCUMENT NO.2017180865 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND BEING 85.810 ACRES OUT OF THE 90.089 ACRES OUT OF THE A.C. CALDWELL SURVEY, ABSTRACT NUMBER 154, TRAVIS COUNTY, TEXAS AND BEING THE TRACTS OF LAND CONVEYED TO RHOF, LLC, A TEXAS LIMITED LIABILITY COMPANY, PER DEED RECORDED AS DOCUMENT NO.2017194263 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS

APPROVAL AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL FOR THE CITY OF MANOR, TEXAS.

DATED THIS ___ DAY OF ____, 20__

BY: _____
HONORABLE MAYOR DR. LARRY WALLACE JR.
MAYOR OF THE CITY OF MANOR, TEXAS

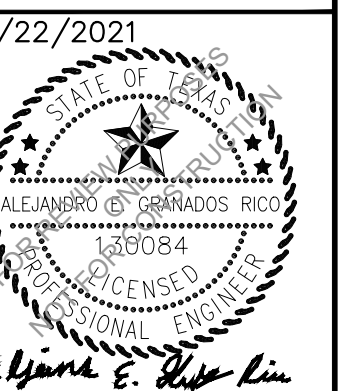
THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY OF COUNCIL.

DATED THIS ___ DAY OF ____, 20__

BY: _____
PHILIP TRYON, P&Z CHAIRPERSON

Kimley»Horn

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10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 300, AUSTIN, TX 78759
PHONE: 512-418-1771 FAX: 512-418-1791
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928



KHA PROJECT 069273601
DATE FEBRUARY 2021
SCALE: AS SHOWN
DESIGNED BY: BJB
DRAWN BY: ADD
CHECKED BY: AEC

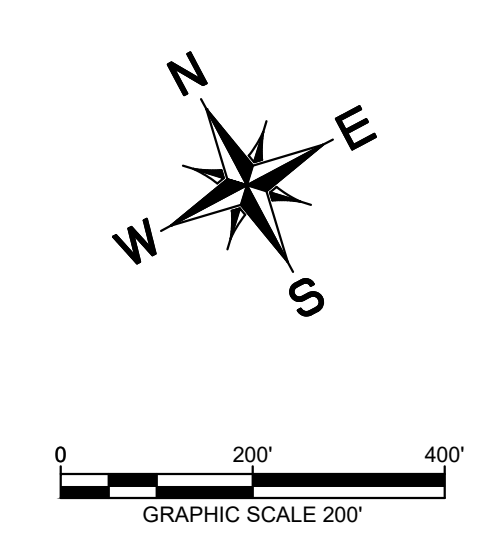
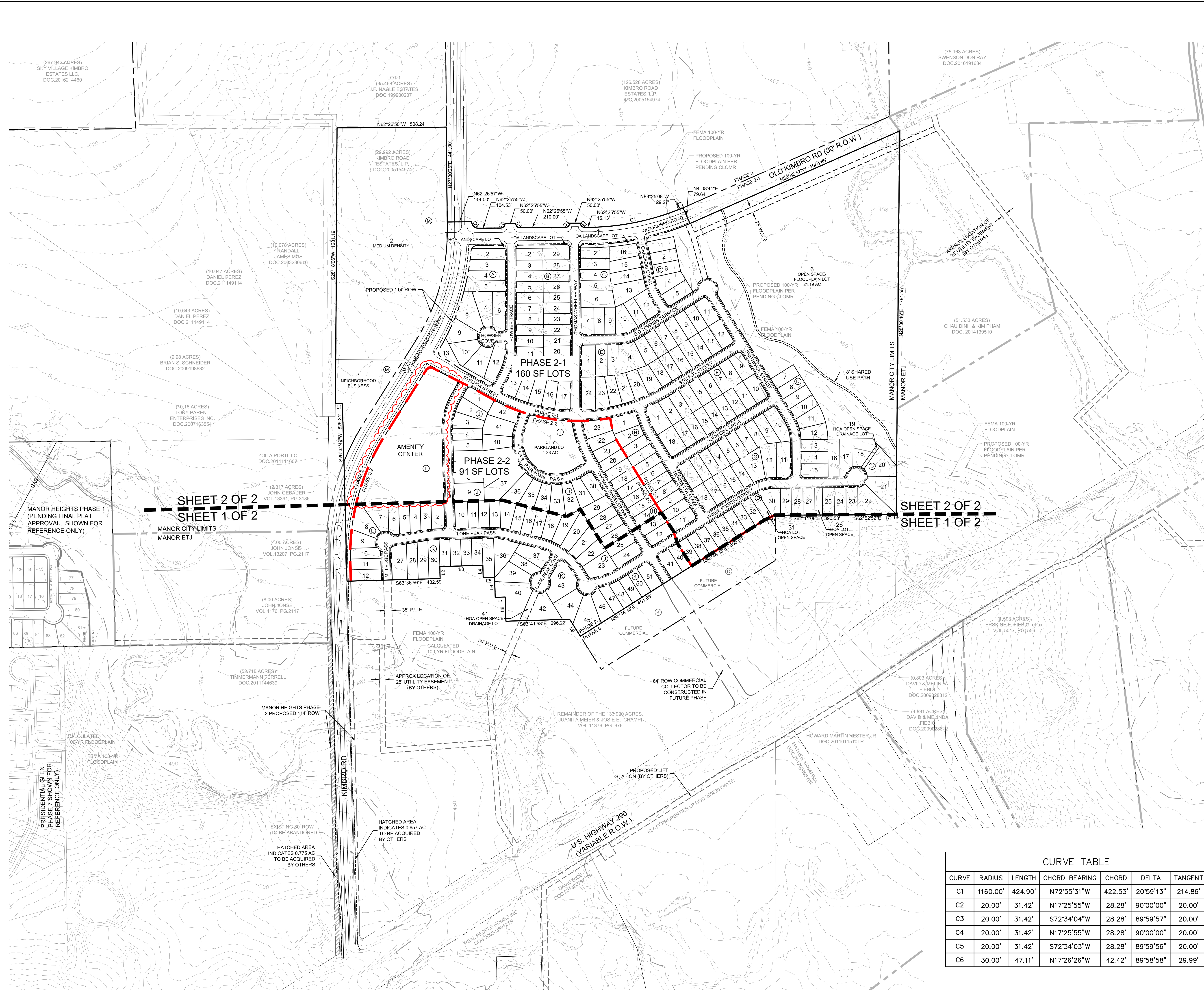
COVER SHEET

PRELIMINARY PLANS FOR
MANOR HEIGHTS
CITY OF MANOR
TRAVIS COUNTY, TEXAS

SHEET NUMBER
1

NO.	REVISIONS	DATE
R1	REVISION: SUBDIVISION LOTS ADDED AMENITY CENTER LOT	1/20/2021

Plotted By: Duffy, Donnie. Date: February 22, 2021. 10:41:19am. File Path: K:\VAUS_civil\069255700_Sky_Village_South_Vaco\Manor_Heights_Phase 2\PlanSheets\Revision\PlanSheets\Overall_Preliminary_Plan.dwg
 This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SHEET 2 OF 2
SHEET 1 OF 2

SHEET 2 OF 2
SHEET 1 OF 2

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	1160.00'	424.90'	N72°55'31"W	422.53'	20°59'13"	214.86'
C2	20.00'	31.42'	N17°25'55"W	28.28'	90°00'00"	20.00'
C3	20.00'	31.42'	S72°34'04"W	28.28'	89°59'57"	20.00'
C4	20.00'	31.42'	N17°25'55"W	28.28'	90°00'00"	20.00'
C5	20.00'	31.42'	S72°34'03"W	28.28'	89°59'56"	20.00'
C6	30.00'	47.11'	N17°26'26"W	42.42'	89°58'58"	29.99'

LINE TABLE		
LINE	LENGTH	BEARING
L1	32.15	S61°41'54.05"E
L2	55.85	N26°50'58.95"E
L3	200.00	S63°34'50.27"E
L4	55.53	S26°43'42.08"W
L5	53.72	S60°21'11.45"E
L6	91.45	S26°39'00.06"W
L7	46.90	S63°36'46.30"E
L8	112.46	S26°19'22.84"W
L9	92.84	S4°15'57.60"E
L10	54.58	S86°32'12.87"E

Kimley-Horn

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 10814 JOLLYLLE ROAD, AVALON IV, SUITE 300, AUSTIN, TX 78799
 PHONE: 512-418-1771 FAX: 512-418-1791
 WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERING FIRM F-928

REVISIONS

No.	REVISIONS	DATE
1	ISSUE FOR SUBDIVISION LOTS; ADDED AMENITY CENTER LOT	1/20/2021

02/22/2021

Albert E. Ruffin

OVERALL PRELIMINARY PLAN

MANOR HEIGHTS

CITY OF MANOR
 TRAVIS COUNTY, TEXAS

PRELIMINARY PLANS FOR

MANOR HEIGHTS

CITY OF MANOR
 TRAVIS COUNTY, TEXAS

SHEET NUMBER

4



Texas Engineering Firm #4242

Date: Thursday, February 18, 2021

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX 78759
alex.granados@kimley-horn.com

Permit Number 2021-P-1303-PP
Job Address: Manor Heights Phase 2 Revised Preliminary Plat, Manor, TX. 78653

Dear Alex Granados,

The first submittal of the Manor Heights Phase 2 Revised Preliminary Plat (*Preliminary Plan*) submitted by Kimley-Horn and received on March 03, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. The preliminary plat should be labeled as being a revision to the previously approved preliminary plat. The revision date should be added to the cover sheet.
2. The developer shall include a copy of the complete application for flood plain map amendment or revision, as required by the Federal Emergency Management Agency (FEMA). From the drawings it appears that the floodplain will be modified.
3. On Sheet 7 the proposed use for Lot 1 Block L should be provided.
4. On Sheet 9 there is a label for a WW line that is not pointing to anything.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,

2/18/2021 9:54:38 AM
Manor Heights Phase 2 Revised Preliminary Plat
2021-P-1303-PP
Page 2



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA

Kimley»Horn

February 18, 2021

Pauline Gray, P.E.
Jay Engineering Company, Inc
P.O. Box 1220
Leander, Texas

via E-Mail

RE: 2021-P-1303-PP
Manor Heights Phase 2 Revised Preliminary Plan (1st Review)
Job Address: Manor, TX. 78653

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated February 12, 2021. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

- 1) The preliminary plat should be labeled as being a revision to the previously approved preliminary plat. The revision date should be added to the cover sheet.

Response: Cover sheet revised.

- 2) The developer shall include a copy of the complete application for flood plain map amendment or revision, as required by the Federal Emergency Management Agency (FEMA). From the drawings it appears the floodplain will be modified.

Response: CLOMR documents included with submittal.

- 3) On Sheet 7 the proposed use for Lot 1 Block L should be provided.

Response: Lot 1 Block L updated for proposed use.

- 4) On Sheet 9 there is a label for a WW line that is not pointing to anything.

Response: Sheet 9 revised.

Please contact me at 512.782.0602 if additional information is required.

Sincerely,



Alex Granados, P.E.
Alex.Granados@kimley-horn.com
KIMLEY-HORN AND ASSOCIATES, INC.



Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Monday, March 29, 2021

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX 78759
alex.granados@kimley-horn.com

Permit Number 2021-P-1303-PP
Job Address: Manor Heights Phase 2 Revised Preliminary Plat, Manor 78653

Dear Alex Granados,

We have conducted a review of the preliminary plat for the above-referenced project, submitted by Alex Granados and received by our office on March 03, 2021, for conformance with the City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Pauline M. Gray".

Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

Applicant: Carlson, Brigance & Doering, Inc.

Owner: Manor Apartments, LLC

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. This is a preliminary plat for the 1 10-acre tract behind Riata Ford where a multi-family development is in review. Gregg Manor will be extended to provide access to this property.

LEGAL REVIEW: Not Applicable

FISCAL IMPACT: No

PRESENTATION: No

ATTACHMENTS: Yes

- Summary Letter
- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission approve a Preliminary Plat for the Manor Apartments Subdivision, one (1) lot on 10.74 acres, more or less, and being located near the intersection of US Hwy 290 E and Gregg Manor Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



Thomas M. Bolt, Director/City Manager
Development Services Department
City of Manor
105 E. Eggleston Street,
Manor, Texas 78653

CBD Project No. 4928
Date: 11/06/2020

**RE: Engineer's Summary Letter
Manor OZ
E. US HWY 290
Manor, Travis County, Texas**

Dear Mr. Bolt:

Please accept this Engineer's summary letter along with the accompanying application materials as our formal submittal for the above referenced project, generally located ± 200 ft southeast of the intersection of Gregg Manor Road and Tur Weg Lane. The project is located entirely within the Full Purpose limits of the City of Manor, in Travis County, Texas.

The project will consist of the planning and construction of 264 multifamily residential units on a ± 10.88 -acre tract, including associated accessory amenities and the requisite site-related improvements such as internal roads, drainage and wet utility infrastructure, handicap accessibility, and landscape-related improvements. The subject site is currently a wooded on a vacant lot. All proposed improvements will be developed in accordance with the provisions which are contained in the City of Manor's Code of Ordinances except as modified by the Developer Agreement for the subject tract recorded under Document #2020041209 in Travis County Records. Additional regulation provisions are applicable in accordance with the approved zoning documents signed by City Council on April 3, 2019 and October 7, 2020.

The subject tract is currently not platted and divided into two (2) lots. The project will be subdivided into one (1) lot and a final plat application has been submitted to the City of Manor for concurrent review.

The subject site contains frontage along Gregg Manor Road which is designed/permitted by others under Permit #2016-P1023-CO.

Primary/main vehicular access to the property will be permitted through a singular driveway proposed on Gregg Manor Road. Secondary emergency access is anticipated for the proposed development near the northeast corner of the property via W. Browning Street. According to the City of Manor code of ordinances, a Traffic Impact Analysis (TIA), is consistent with the City of Austin (COA) Transportation Criteria Manual (TCM). According to the COA TCM a traffic impact analysis is required if the expected number of trips generated by a project exceeds 2,000 vehicle trips per day.

At 264 units proposed, $\pm 1,848$ vehicle trips per day are expected and therefore should not require a TIA. All internal drives onsite will be of asphalt concrete material.

The site is not located within the Edwards Aquifer Recharge or Contributing Zones as defined by the Texas Commission on Environmental Quality (TCEQ). No onsite water quality treatment facilities are proposed. Additionally, no portion of the subject site is located within the 100-year floodplain according to the FEMA Flood Insurance Maps # 48453C0480J and 48453C0485J dated August 18, 2014.

The project is located in the Gilleland Creek watershed and is typically required to include stormwater management, such that the post-development peak flow rates for various design frequency storms is equal to the peak flow rates for the pre-developed condition. Due to the proximity of the site within the Gilleland Creek watershed, the size of the proposed project, and the project's close proximity to the mainstem of Gilleland Creek, onsite detention controls are not required per the Las Entradas-Detention Analysis study conducted by AECOM and approved in October 2008. All stormwater generated by this development is to be captured via grate inlets and curb inlets which will convey to the existing 60" RCP within Gregg Manor Road. The 60" culvert anticipates fully developed conditions for the subject tract and was designed/permitted by others under Permit #2016-P1023-CO.

Water service will be provided by a new 12" private water main loop within the site. The new water main will tap the existing 12" public waterline located along the eastern boundary of the site adjacent to the existing single-family neighborhood. Wastewater service will be provided via the public extension proposed with this project. More specifically the proposed 8" public gravity line that will extend to the southeast corner of our site from N. Bastrop Street through the public alleyway situated between W. Wheeler Street and W. Eggleston Street as coordinated with Jay Engineering Company, Inc.

To our knowledge, the enclosed application and supporting materials are complete, correct, and in full compliance with the Land Development Code as modified by the zoning ordinances. Should you have any questions regarding this project or application, please do not hesitate to contact our office.

Sincerely,

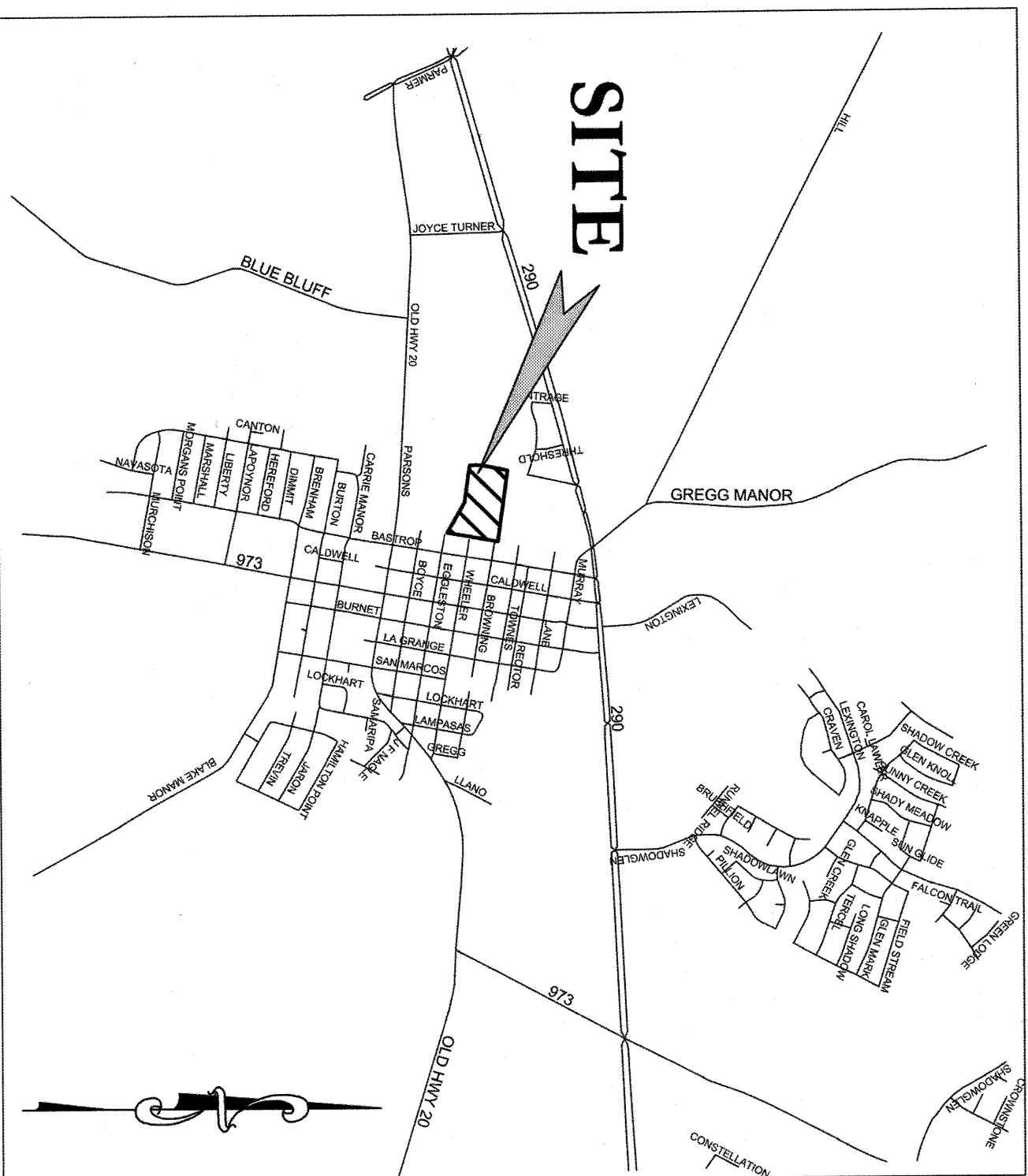
Carlson, Brigance, & Doering, Inc.

Texas Engineering Firm No. F-3791



Amir Namakforoosh, P.E.

Project Manager



LOCATION MAP
SCALE: 1"=2000'

MANOR APARTMENTS

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

- SHEET INDEX:**
- 1) COVER
 - 2) EXISTING CONDITIONS
 - 3) PROPOSED UTILITY IMPROVEMENTS
 - 4) TREE PROTECTION PLAN
 - 5) EXISTING DRAINAGE AREA MAP
 - 6) PROPOSED DRAINAGE AREA PLAN

LAND USE SUMMARY:
 LOT 1: 10.740 AC.
 R.O.W. DEDICATION: 0.143 AC.
 TOTAL ACREAGE: 10.883 AC.

ZONING:
 THIS PROJECT IS ZONED WF-2 (PRIOR DISTRICT NAME R-3)

WATERSHED:
 THIS PROJECT IS LOCATED IN THE GILLELAND CREEK WATERSHED.

THIS PROJECT IS NOT LOCATED OVER THE EDWARDS AQUIFER RECHARGE OR CONTRIBUTING ZONES.

FLOOD PLAN:
 NO PORTION OF THIS TRACT IS WITHIN THE BOUNDARIES OF THE 100-YEAR FLOOD PLAIN AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE ADMINISTRATION, AS SHOWN ON FIRM MAP NO(S). 48453C0480U & 48453C04585U, DATED AUGUST 18, 2014 FOR TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

GENERAL NOTES:
DEVELOPER:
 W2 REAL ESTATE PARTNERS
 221 W. 6th STREET, SUITE 800
 AUSTIN, TEXAS 78701
 (512) 381-6119

RECORD OWNER:
 MANOR APARTMENTS LLC
 4600 TRIANGLE AVE, SUITE 6102
 AUSTIN, TEXAS 78751
 (512) 381-6119
CONTACT: BRAD GARNER

ENGINEER:
 CARLSON, BRIGANCE & DOERING, INC.
 12129 RR 620 N. SUITE 600
 AUSTIN, TEXAS 78750
 (512)280-5160
CONTACT: AMIR NAMAKFOROOSH, P.E.

ARCHITECT:
 STEINBERG DICKY COLLABORATIVE, LLP
 7701 N. LAMAR BLVD, SUITE 205
 AUSTIN, TEXAS 78752
 (512)271-7710
CONTACT: AKITHA JAMISON, AIA

LANDSCAPE ARCHITECT:
 MESA DESIGN GROUP
 2001 N. LAMAR ST., SUITE 100
 DALLAS, TEXAS 75202
 (214)871-0568
CONTACT: KEVIN BERNAUER, PLA

SURVEYOR:
 CP&Y
 1 CHISHOLM TRAIL, SUITE 130
 ROUND ROCK, TEXAS 78681
 (512)248-0065
CONTACT: DAN FLAHERTY, RPLS

SUBMITTED BY:

[Signature]
 AMIR NAMAKFOROOSH, P.E.
 LICENSED PROFESSIONAL ENGINEER NO. 124963
 CARLSON BRIGANCE & DOERING, INC.
 12129 RR 620 N. SUITE 600
 AUSTIN, TEXAS 78750
 (512) 280-5160
 FIRM: F--3791

DATE 3/10/2021



CARLSON, BRIGANCE & DOERING, INC.
 ID# F3791

CITY OF MANOR ACKNOWLEDGEMENTS:

THIS PRELIMINARY PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, AND IS HEREBY RECOMMENDED FOR APPROVAL BY THE CITY COUNCIL ON THIS THE 12th DAY OF May, 2021 A.D.

APPROVED:
[Signature]
 PHILIP TRON, CHAIRPERSON

ATTEST:
[Signature]
 LUVIA T. ALMARAZ, CITY SECRETARY

ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL, CITY OF MANOR, TEXAS, ON THIS THE 12th DAY OF May, 2021 A.D.

APPROVED:
[Signature]
 HONORABLE DR. LARRY WALLACE JR.,
 MAYOR OF THE CITY OF MANOR, TEXAS

ATTEST:
[Signature]
 LUVIA T. ALMARAZ,
 CITY SECRETARY



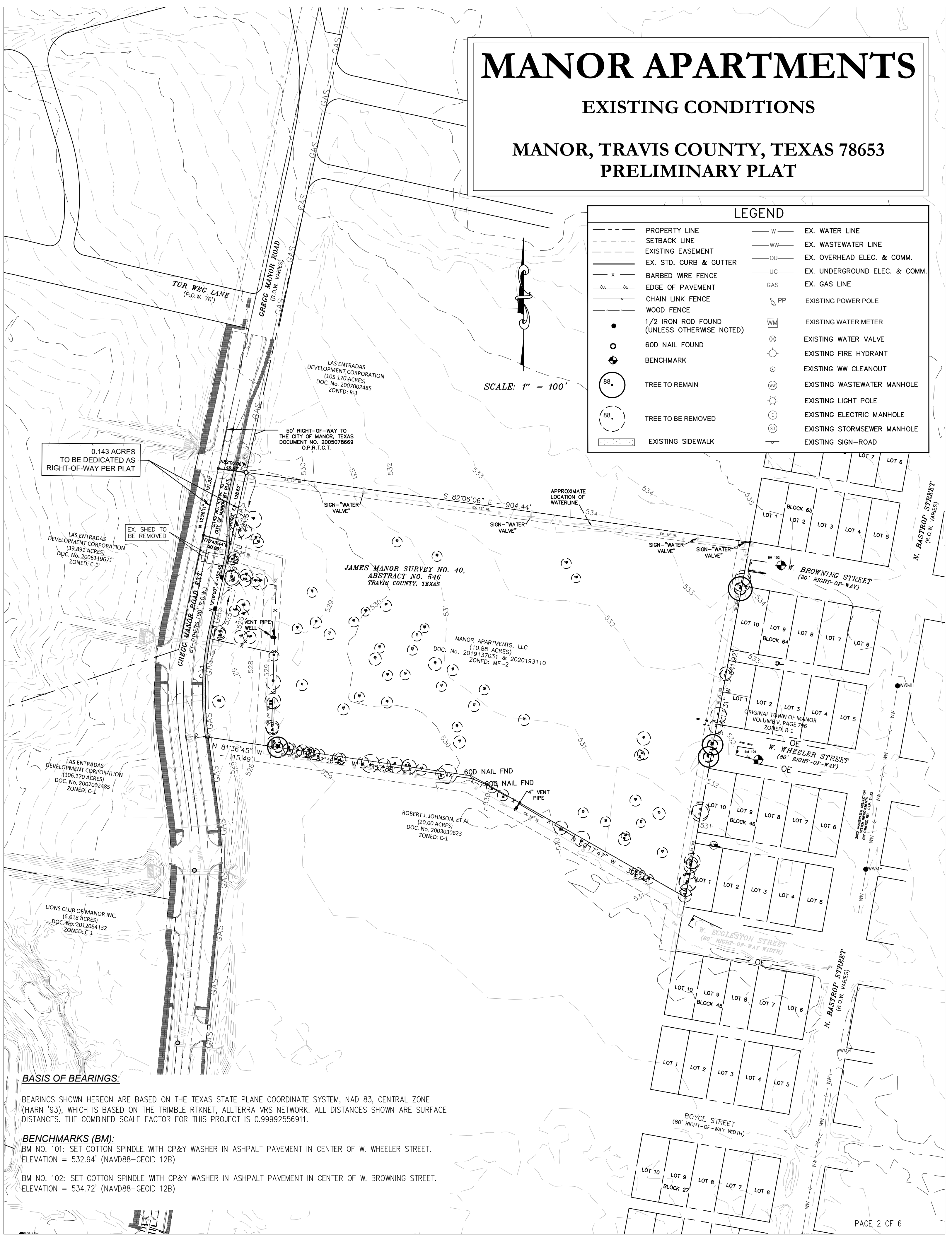
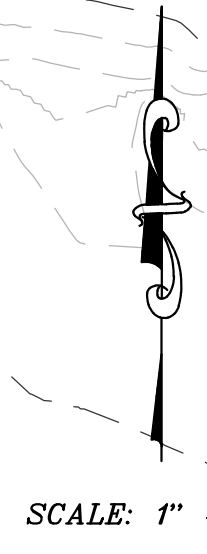
MANOR APARTMENTS

EXISTING CONDITIONS

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

LEGEND			
	PROPERTY LINE		EX. WATER LINE
	SETBACK LINE		EX. WASTEWATER LINE
	EXISTING EASEMENT		EX. OVERHEAD ELEC. & COMM.
	EX. STD. CURB & GUTTER		EX. UNDERGROUND ELEC. & COMM.
	BARBED WIRE FENCE		EX. GAS LINE
	EDGE OF PAVEMENT		EXISTING POWER POLE
	CHAIN LINK FENCE		EXISTING WATER METER
	WOOD FENCE		EXISTING WATER VALVE
	1/2 IRON ROD FOUND (UNLESS OTHERWISE NOTED)		EXISTING FIRE HYDRANT
	60D NAIL FOUND		EXISTING WW CLEANOUT
	BENCHMARK		EXISTING WASTEWATER MANHOLE
	TREE TO REMAIN		EXISTING LIGHT POLE
	TREE TO BE REMOVED		EXISTING ELECTRIC MANHOLE
	EXISTING SIDEWALK		EXISTING STORMSEWER MANHOLE
			EXISTING SIGN-ROAD



0.143 ACRES TO BE DEDICATED AS RIGHT-OF-WAY PER PLAT

EX. SHED TO BE REMOVED

50' RIGHT-OF-WAY TO THE CITY OF MANOR, TEXAS DOCUMENT NO. 2005078669 O.P.R.T.C.T.

LAS ENTRADAS DEVELOPMENT CORPORATION (39.891 ACRES) DOC. No. 2006119671 ZONED: C-1

JAMES MANOR SURVEY NO. 40, ABSTRACT NO. 546 TRAVIS COUNTY, TEXAS

MANOR APARTMENTS, LLC (10.88 ACRES) DOC. No. 2019137031 & 2020193110 ZONED: MF-2

LAS ENTRADAS DEVELOPMENT CORPORATION (106.170 ACRES) DOC. No. 2007002485 ZONED: C-1

ROBERT J. JOHNSON, ET AL (20.00 ACRES) DOC. No. 2003030623 ZONED: C-1

LIONS CLUB OF MANOR INC. (6.018 ACRES) DOC. No. 2012084132 ZONED: C-1

BASIS OF BEARINGS:

BEARINGS SHOWN HEREON ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, CENTRAL ZONE (HARN '93), WHICH IS BASED ON THE TRIMBLE RTKNET, ALLTERRA VRS NETWORK. ALL DISTANCES SHOWN ARE SURFACE DISTANCES. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.99992556911.

BENCHMARKS (BM):

- BM NO. 101: SET COTTON SPINDLE WITH CP&Y WASHER IN ASPHALT PAVEMENT IN CENTER OF W. WHEELER STREET. ELEVATION = 532.94' (NAVD88-GEOID 12B)
- BM NO. 102: SET COTTON SPINDLE WITH CP&Y WASHER IN ASPHALT PAVEMENT IN CENTER OF W. BROWNING STREET. ELEVATION = 534.72' (NAVD88-GEOID 12B)

MANOR APARTMENTS

PROPOSED UTILITY IMPROVEMENTS

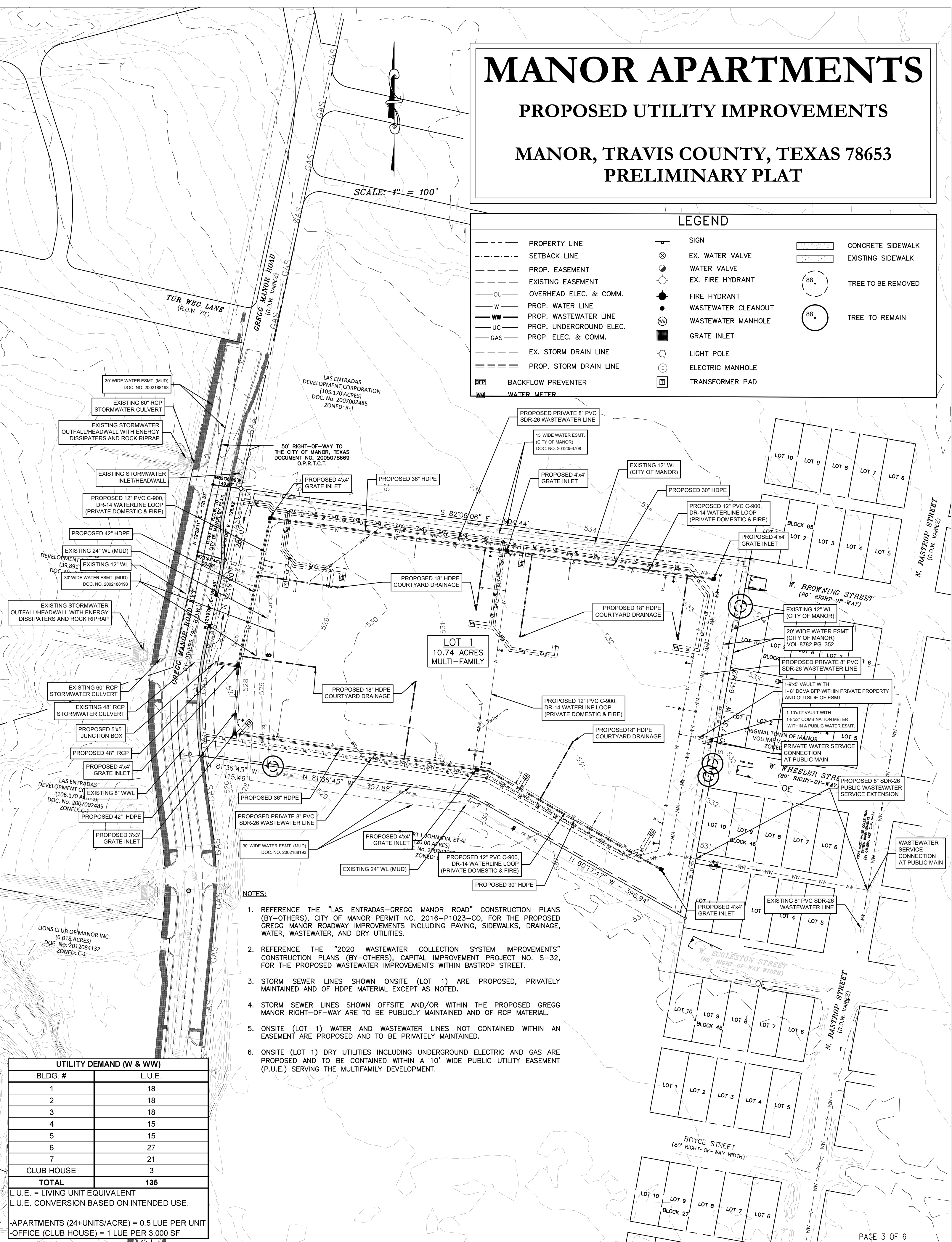
MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

SCALE: 1" = 100'

LEGEND

<p>--- PROPERTY LINE</p> <p>--- SETBACK LINE</p> <p>--- PROP. EASEMENT</p> <p>--- EXISTING EASEMENT</p> <p>--- OU OVERHEAD ELEC. & COMM.</p> <p>--- W PROP. WATER LINE</p> <p>--- WW PROP. WASTEWATER LINE</p> <p>--- UG PROP. UNDERGROUND ELEC.</p> <p>--- GAS PROP. ELEC. & COMM.</p> <p>--- EX. STORM DRAIN LINE</p> <p>--- PROP. STORM DRAIN LINE</p> <p>--- BFP BACKFLOW PREVENTER</p> <p>--- WM WATER METER</p>	<p>--- SIGN</p> <p>⊗ EX. WATER VALVE</p> <p>⊙ WATER VALVE</p> <p>⊙ EX. FIRE HYDRANT</p> <p>● FIRE HYDRANT</p> <p>● WASTEWATER CLEANOUT</p> <p>⊙ WASTEWATER MANHOLE</p> <p>■ GRATE INLET</p> <p>⊙ LIGHT POLE</p> <p>⊙ ELECTRIC MANHOLE</p> <p>⊙ TRANSFORMER PAD</p>	<p>▭ CONCRETE SIDEWALK</p> <p>▭ EXISTING SIDEWALK</p> <p>⊙ 88. TREE TO BE REMOVED</p> <p>⊙ 88. TREE TO REMAIN</p>
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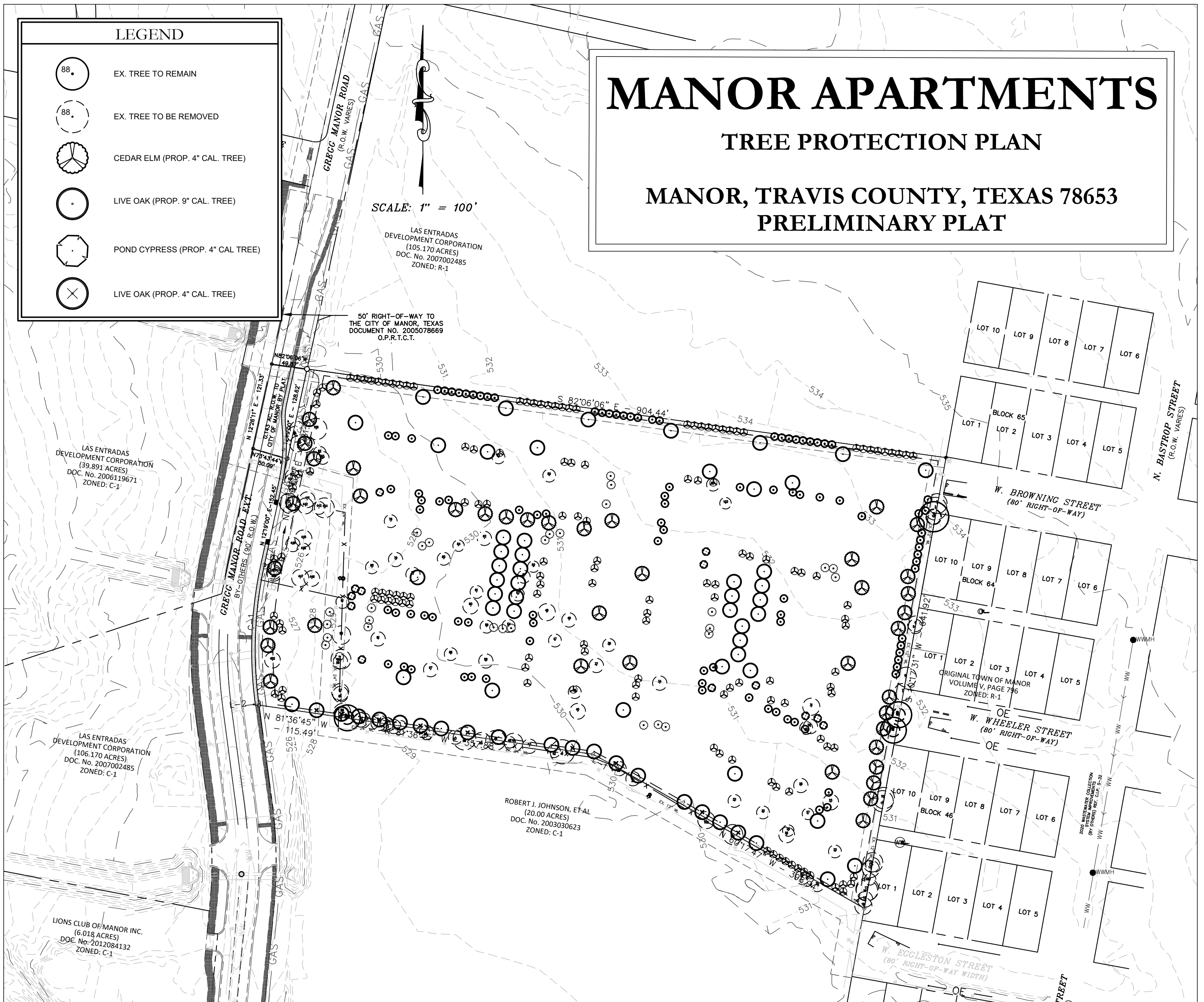


- NOTES:**
1. REFERENCE THE "LAS ENTRADAS-GREGG MANOR ROAD" CONSTRUCTION PLANS (BY-OTHERS), CITY OF MANOR PERMIT NO. 2016-P1023-C0, FOR THE PROPOSED GREGG MANOR ROADWAY IMPROVEMENTS INCLUDING PAVING, SIDEWALKS, DRAINAGE, WATER, WASTEWATER, AND DRY UTILITIES.
 2. REFERENCE THE "2020 WASTEWATER COLLECTION SYSTEM IMPROVEMENTS" CONSTRUCTION PLANS (BY-OTHERS), CAPITAL IMPROVEMENT PROJECT NO. S-32, FOR THE PROPOSED WASTEWATER IMPROVEMENTS WITHIN BASTROP STREET.
 3. STORM SEWER LINES SHOWN ONSITE (LOT 1) ARE PROPOSED, PRIVATELY MAINTAINED AND OF HDPE MATERIAL EXCEPT AS NOTED.
 4. STORM SEWER LINES SHOWN OFFSITE AND/OR WITHIN THE PROPOSED GREGG MANOR RIGHT-OF-WAY ARE TO BE PUBLICLY MAINTAINED AND OF RCP MATERIAL.
 5. ONSITE (LOT 1) WATER AND WASTEWATER LINES NOT CONTAINED WITHIN AN EASEMENT ARE PROPOSED AND TO BE PRIVATELY MAINTAINED.
 6. ONSITE (LOT 1) DRY UTILITIES INCLUDING UNDERGROUND ELECTRIC AND GAS ARE PROPOSED AND TO BE CONTAINED WITHIN A 10' WIDE PUBLIC UTILITY EASEMENT (P.U.E.) SERVING THE MULTIFAMILY DEVELOPMENT.

UTILITY DEMAND (W & WW)	
BLDG. #	L.U.E.
1	18
2	18
3	18
4	15
5	15
6	27
7	21
CLUB HOUSE	3
TOTAL	135

L.U.E. = LIVING UNIT EQUIVALENT
L.U.E. CONVERSION BASED ON INTENDED USE.

-APARTMENTS (24+UNITS/ACRE) = 0.5 LUE PER UNIT
-OFFICE (CLUB HOUSE) = 1 LUE PER 3,000 SF



MANOR APARTMENTS

TREE PROTECTION PLAN

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

LEGEND	
	EX. TREE TO REMAIN
	EX. TREE TO BE REMOVED
	CEDAR ELM (PROP. 4" CAL. TREE)
	LIVE OAK (PROP. 9" CAL. TREE)
	POND CYPRESS (PROP. 4" CAL. TREE)
	LIVE OAK (PROP. 4" CAL. TREE)

SCALE: 1" = 100'

LAS ENTRADAS DEVELOPMENT CORPORATION (105.170 ACRES) DOC. No. 2007002485 ZONED: R-1

50' RIGHT-OF-WAY TO THE CITY OF MANOR, TEXAS DOCUMENT NO. 2005078669 O.P.R.T.C.T.

LAS ENTRADAS DEVELOPMENT CORPORATION (39.891 ACRES) DOC. No. 2006119671 ZONED: C-1

LAS ENTRADAS DEVELOPMENT CORPORATION (106.170 ACRES) DOC. No. 2007002485 ZONED: C-1

LIONS CLUB OF MANOR INC. (6.018 ACRES) DOC. No. 2012084132 ZONED: C-1

ROBERT J. JOHNSON, EFAL (20.00 ACRES) DOC. No. 2003030623 ZONED: C-1

TREE LIST

TREE No.	DESCRIPTION	TREE No.	DESCRIPTION	TREE No.	DESCRIPTION	TREE No.	DESCRIPTION
1	(R)_14" HACKBERRY	37	(R)_10" HACKBERRY	73	(R)_9" HACKBERRY	109	(R)_15" ELM (9", 8", 5") M
2	(R)_16" HACKBERRY (11", 10") M	38	(R)_9" HACKBERRY	74	(R)_9" HACKBERRY	110	** (R)_12" MESQUITE
3	_21" HACKBERRY	39	(R)_9" HACKBERRY	75	(R)_11" HACKBERRY	111	** (R)_23" MESQUITE
4	(R)_11" HACKBERRY	40	(R)_11" CEDAR	76	(R)_9" HACKBERRY	112	** (R)_8" HACKBERRY
5	(R)_10" PECAN	41	(R)_17" HACKBERRY (12", 10") M	77	(R)_10" CEDAR	113	(R)_10" CEDAR
6	(R)_14" HACKBERRY	42	(R)_9" HACKBERRY	78	(R)_9" HACKBERRY	114	(R)_8" HACKBERRY
7	(R)_12" HACKBERRY	43	(R)_10" HACKBERRY	79	(R)_10" CEDAR	115	** (R)_8" HACKBERRY
8	_18" HACKBERRY (12", 12") M	44	(R)_13" HACKBERRY	80	(R)_9" HACKBERRY	116	(R)_14" MESQUITE
9	_18" HACKBERRY	45	(R)_8" HACKBERRY	81	(R)_10" CEDAR	117	(R)_13" MESQUITE
10	(R)_15" HACKBERRY (11", 7") M	46	(R)_14" HACKBERRY	82	(R)_10" HACKBERRY	118	** (R)_10" HACKBERRY
11	(R)_15" HACKBERRY (8", 7", 6") M	47	(R)_9" HACKBERRY	83	(R)_11" HACKBERRY	119	** (R)_16" HACKBERRY (12" 7") M
12	(R)_14" HACKBERRY	48	(R)_12" CEDAR	84	_18" HACKBERRY (13", 9") M	120	** (R)_12" HACKBERRY
13	(R)_10" HACKBERRY	49	(R)_10" CEDAR	85	(R)_11" HACKBERRY	121	** (R)_13" HACKBERRY (7", 6", 5") M
14	(R)_12" HACKBERRY	50	(R)_9" CEDAR	86	(R)_12" HACKBERRY	122	** (R)_12" HACKBERRY
15	(R)_8" HACKBERRY	51	(R)_9" CEDAR	87	(R)_12" HACKBERRY	123	** (R)_12" HACKBERRY (8", 8") M
16	(R)_15" HACKBERRY	52	(R)_8" CEDAR	88	(R)_10" HACKBERRY	124	** (R)_26" MESQUITE
17	(R)_16" HACKBERRY	53	(R)_9" CEDAR	89	(R)_14" HACKBERRY	125	** (R)_10" HACKBERRY
18	(R)_11" HACKBERRY	54	(R)_9" CEDAR	90	(R)_13" HACKBERRY (9", 8") M	126	** (R)_11" HACKBERRY (8" 5") M
19	(R)_12" HACKBERRY	55	(R)_12" HACKBERRY (8", 7") M	91	(R)_9" HACKBERRY	127	** (R)_22" WILLOW (15", 7", 5") M
20	(R)_9" HACKBERRY	56	(R)_16" HACKBERRY	92	(R)_9" HACKBERRY	128	** (R)_10" WILLOW
21	(R)_9" HACKBERRY	57	(R)_10" HACKBERRY	93	(R)_9" HACKBERRY	441	(R)_11" HACKBERRY
22	(R)_9" HACKBERRY	58	(R)_10" HACKBERRY	94	(R)_12" HACKBERRY	442	(R)_11" HACKBERRY
23	(R)_11" HACKBERRY (8", 6") M	59	(R)_9" CEDAR	95	(R)_11" HACKBERRY	443	(R)_9" HACKBERRY
24	(R)_10" HACKBERRY (7", 6") M	60	(R)_11" CEDAR	96	(R)_11" HACKBERRY	444	(R)_14" MESQUITE
25	(R)_8" HACKBERRY	61	(R)_9" CEDAR	97	*(R)_11" ELM	445	(R)_12" HACKBERRY
26	(R)_11" HACKBERRY (7", 7") M	62	(R)_10" CEDAR	98	*(R)_12" HACKBERRY	446	(R)_11" HACKBERRY
27	(R)_8" HACKBERRY	63	(R)_9" CEDAR	99	** (R)_10" HACKBERRY	447	(R)_9" HACKBERRY
28	(R)_10" HACKBERRY	64	(R)_8" CEDAR	100		448	(R)_9" HACKBERRY
29	(R)_10" HACKBERRY (7", 6") M	65	(R)_9" CEDAR	101	(R)_14" HACKBERRY	449	(R)_10" HACKBERRY
30	(R)_9" CEDAR	66	(R)_9" CEDAR	102	(R)_12" HACKBERRY (8", 8") M	450	(R)_10" HACKBERRY
31	(R)_12" CEDAR	67	(R)_10" CEDAR	103	(R)_8" ELM	451	(R)_10" HACKBERRY
32	(R)_9" CEDAR	68	(R)_10" HACKBERRY	104	(R)_9" HACKBERRY	452	(R)_11" HACKBERRY
33	(R)_9" CEDAR	69	(R)_9" HACKBERRY			6198	(R)_17" HACKBERRY (12", 11") M
34	(R)_10" CEDAR	70	(R)_10" HACKBERRY			6201	(R)_13" HACKBERRY (6", 6", 5", 5", 4") M
35	(R)_10" HACKBERRY	71	(R)_10" HACKBERRY	107	** (R)_9" HACKBERRY	6206	(R)_8" HACKBERRY (6", 4") M
36	(R)_10" HACKBERRY	72	(R)_10" HACKBERRY	108	(R)_10" HACKBERRY (7", 5") M	6210	(R)_7" CHINABERRY

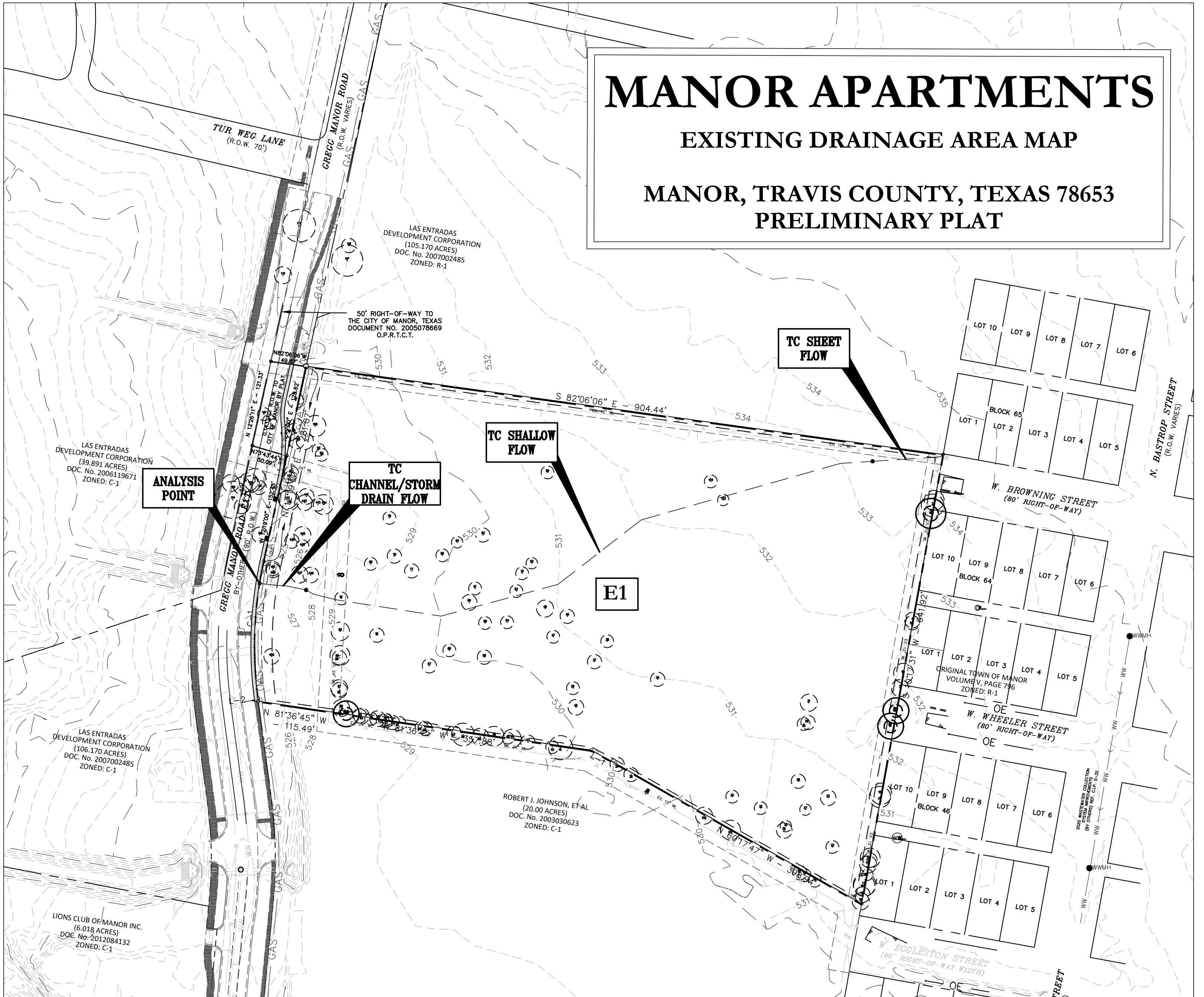
MITIGATION TABLE

PROTECTED TREE INCHES:	1,585
PROTECTED INCHES REMOVED:	1,510
PRESERVATION (%):	4.7
TREE INCHES IN ROW (EXEMPT):	247
TOTAL INCHES REQ. MITIGATION:	1,263
TOTAL INCHES OF PROPOSED TREES:	1,435

NOTES:

- ANY EXISTING TREE EIGHT (8) INCHES OR LARGER ARE PROTECTED AND CANNOT BE REMOVED WITHOUT A CITY PERMIT.
- ANY EXISTING TREES SHOWN TO BE REMOVED MUST BE MITIGATED FOR BASED ON A REPLACEMENT RATIO (INCHES REMOVED TO INCHES PLANTED) OF:
 - 1:2 FOR SIGNIFICANT TREES EIGHTEEN (18) INCHES IN CALIPER AND LARGER, AND.
 - 1: 1 FOR SIGNIFICANT TREES BETWEEN EIGHT (8) AND EIGHTEEN (18) IN CALIPER
 - REPLACEMENT TREES SHALL NOT BE REQUIRED FOR THE REMOVAL OF TREES SMALLER THAN EIGHT (8) INCHES IN CALIPER. THE REMOVAL OF SIGNIFICANT TREES LARGER THAN EIGHTEEN INCHES IN CALIPER REQUIRE COMMISSION APPROVAL.
- TREE REMOVAL AND SUBSEQUENT REPLACEMENT TREE/MITIGATION REQUIRED FOR THE DEVELOPMENT OF LOT 1 IS SUBJECT TO APPLICABLE CITY ORDINANCES & CODES AND WILL BE SUBMITTED AS PART OF THE SITE PLAN PERMIT SUBJECT TO APPROVAL FROM THE CITY OF MANOR UNDER SEPARATE PERMIT.

UNPROTECTED TREES = < 8-in; PROTECTED TREES = > 8-in; PROTECTED TREES (Commission Approval Req.) = ≥ 18-in
 **DENOTES TREE IN ROW REMOVED BY OTHERS (LAS ENTRADAS - GREGG MANOR ROAD; PERMIT NO. 2016-P1023-CO)
 *DENOTES TREE IN ROW
 (R) = TREE TO BE REMOVED
 M = MULTI-TRUNK TREE
 TREE SURVEY CONDUCTED BY CP&Y, INC. ON 09/30/2019.



MANOR APARTMENTS

EXISTING DRAINAGE AREA MAP

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

Composite C Calculations

Basin	Area acre	Area sq ft	Pervious area sq ft	Impervious area sq ft	Impervious %	Pervious %	Runoff Coefficient			
							2 yr	10 yr	25 yr	100 yr
E1	10.740	467834	467834	0	0.00%	100.00%	0.33	0.38	0.42	0.49

Flow Calculations

Basin	Tc (min)	2-Year			10-Year			25-Year			100-Year			
		C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)	
E1	24.64	0.33	3.30	11.70	0.38	4.93	20.10	0.42	6.08	27.44	0.49	8.04	42.30	
TOTAL SITE				11.70	TOTAL SITE		20.10	TOTAL SITE		27.44	TOTAL SITE			42.30

SCS TIME OF CONCENTRATIONS

EXISTING: E1

SCS Time of Concentration

Sheet	$T_c = (0.42 \times (n \times L)^8) / (P2^{0.5} \times S^{0.4})$	P2 = 4.06
	L = 100 n = 0.150	s = 0.006
		14.08 min
Shallow	$T_c\text{-unpaved} = L / (60 \times 16.1345 \times s^{0.5})$ or $T_c\text{-paved} = L / (60 \times 20.3282 \times s^{0.5})$	
	L = 849 U or P = U	s = 0.007
		10.48 min
Channel	$T_c = V / (L \times 60)$	
	V = 13.33 L = 66	
		0.08 min
	Tc Total =	24.64 min
	Lag =	14.79

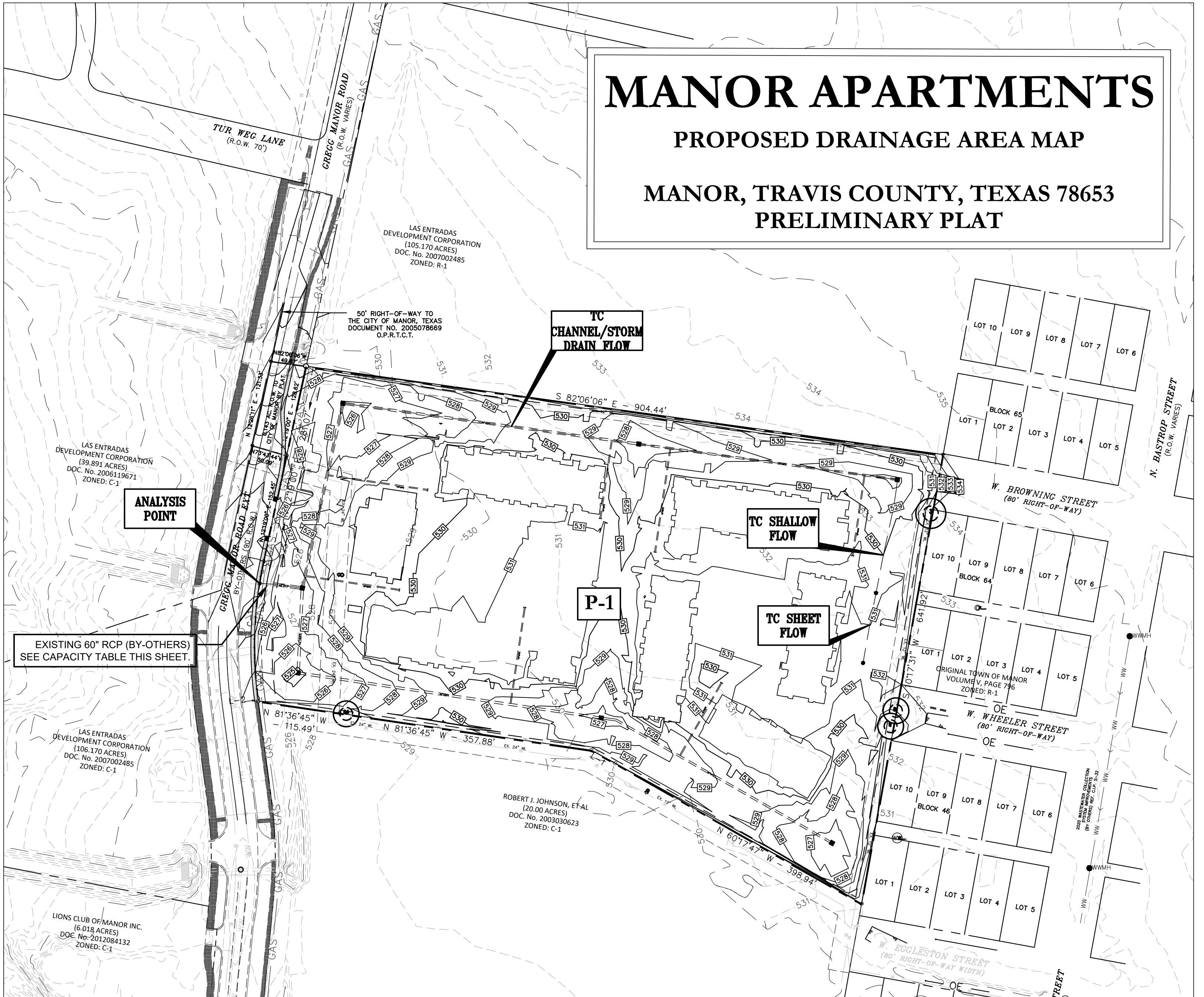


SCALE: 1" = 100'

LEGEND

- 936 --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- 930 --- PROPOSED MAJOR CONTOUR
- --- PROPOSED MINOR CONTOUR
- ➔ FLOW ARROW

- NOTES:**
- GREGG MANOR ROAD AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS BY OTHERS. REF. "LAS ENTRADAS GREGG MANOR ROAD" CONSTRUCTION PLANS; COM PERMIT No. 2016-P1023-CO.
 - THIS DEVELOPMENT IS SUBJECT TO THE DETENTION ANALYSIS FOR LAS ENTRADAS, PREPARED BY AECOM, DATED OCTOBER 30, 2008. THE SUBJECT TRACT IS LIMITED TO 70% IMPERVIOUS COVER UNDER FULLY DEVELOPED CONDITIONS; NO DETENTION REQUIRED.
 - EXISTING FLOWS WERE DETERMINED USING ATLAS-14, ZONE 2.



MANOR APARTMENTS

PROPOSED DRAINAGE AREA MAP

MANOR, TRAVIS COUNTY, TEXAS 78653

PRELIMINARY PLAT

Composite C Calculations

Basin	Area acre	Area sq ft	Pervious area		Pervious %	Runoff Coefficient				
			sq ft	sq ft		2 yr	10 yr	25 yr	100 yr	
P-1	10.740	467834	140537	327297	69.96%	30.04%	0.61	0.68	0.73	0.81

FLOW CALCULATIONS

Basin	Tc (min)	2-Year			10-Year			25-Year			100-Year		
		C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)	C	I	Q (cfs)
P-1	6.4	0.61	5.85	38.34	0.68	8.78	64.21	0.73	10.81	84.46	0.81	14.23	124.04
		TOTAL SITE 38.34			TOTAL SITE 64.21			TOTAL SITE 84.46			TOTAL SITE 124.04		

SCS TIME OF CONCENTRATIONS

PROPOSED: P-1

SCS Time of Concentration

Sheet $T_c = (0.42 \times (n \times L)^8) / (P2^{0.5} \times S^{0.4})$ P2 = 4.06
 $L = 100$ $n = 0.016$ $s = 0.006$
 2.35 min

Shallow $T_c\text{-unpaved} = L / (60 \times 16.1345 \times s^{0.5})$ or $T_c\text{-paved} = L / (60 \times 20.3282 \times s^{0.5})$
 $L = 168$ U or P = P $s = 0.010$
 = 1.38 min

Channel $T_c = V / (L \times 60)$
 $V = 7$ $L = 1118$
 = 2.66 min
 $T_c\text{ Total} = 6.39$ min
 Lag = 3.83

DESIGN CAPACITY (60" RCP)

	25-YR (CFS)	100-YR (CFS)
*EXISTING	102.4	149.51
**PROPOSED	84.6	124.6
DELTA	-17.8	-24.91

*THE 60" STORM SEWER STUB IS DESIGNED FOR THE FULLY DEVELOPED CONDITION BASED ON THE PROPOSED DA MAP (OFF-1, A-3, & A-4) SHOWN ON THE LAS ENTRADAS - GREGG MANOR CONSTRUCTION PLANS (PERMIT NO. 2016-P1023-CO).

**PROPOSED FLOWS WERE DETERMINED USING ATLAS-14 ZONE 2.



SCALE: 1" = 100'

LEGEND

- 936 --- EXISTING MAJOR CONTOUR
- --- EXISTING MINOR CONTOUR
- 930 --- PROPOSED MAJOR CONTOUR
- --- PROPOSED MINOR CONTOUR
- ➔ FLOW ARROW

- NOTES:**
- GREGG MANOR ROAD AND ASSOCIATED INFRASTRUCTURE IMPROVEMENTS BY OTHERS. REF. "LAS ENTRADAS GREGG MANOR ROAD" CONSTRUCTION PLANS; COM PERMIT No. 2016-P1023-CO.
 - THIS DEVELOPMENT IS SUBJECT TO THE DETENTION ANALYSIS FOR LAS ENTRADAS, PREPARED BY AECOM, DATED OCTOBER 30, 2008. THE SUBJECT TRACT IS LIMITED TO 70% IMPERVIOUS COVER UNDER FULLY DEVELOPED CONDITIONS; NO DETENTION REQUIRED.
 - EXISTING AND PROPOSED FLOWS WERE DETERMINED USING ATLAS-14, ZONE 2.



Texas Engineering Firm #4242

Date: Thursday, December 3, 2020

Amir Namakforoosh
 Carlson, Brigance & Doering, Inc.
 12129 RR 620 N, Ste. 600
 Austin 78750
 amir@cbdeng.com

1500 County Road 269
 Leander, TX 78641

PO Box 2029
 Leander, TX 78646-2029

Permit Number 2020-P-1284-PP
 Job Address: The Emerald MF - Las Entradas - Preliminary Plat, Manor, TX. 78653

Dear Amir Namakforoosh,

The first submittal of the The Emerald MF - Las Entradas - Preliminary Plat (*Preliminary Plan*) submitted by Carlson, Brigance & Doering, Inc. and received on March 12, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. The topographic data shall extend outward from the property boundary for a distance equal to twenty-five percent (25%) of the distance across the tract, but not fewer than fifty (50) feet nor more than two hundred (200) feet as required per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(vi).
2. Significant trees within the boundaries of the subdivision and of 8-inch caliper and larger shall be shown on the preliminary plat. Landscape Sheets were provided. Please provide this information on a separate sheet than the Landscape Plans. Landscape Plans are not required to be submitted with the preliminary plat.
3. The storm drain lines are shown to be HDPE. Are the lines private or public? Any public storm drain lines are required to be RCP.
4. On the proposed improvements sheet clearly label what is existing and what is proposed.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vii) and Section 22(b)(3)(viii):

Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles.

Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:

- a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and

- b) 1: 1 for Significant Trees between eight (8) and eighteen (18) in caliper.
- c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval.

This information should be provided on a sheet in the preliminary plat. Landscape plans should not be used to provide this information.

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(i), a drainage study, consisting of a Drainage Area Map with contours, location and capacities of existing and proposed drainage features, and calculations in accordance with this Ordinance and good engineering practices, shall be provided to ensure the property will be developed in accordance with City drainage policies. Nothing was provided for the proposed site.

7. Utility demand data should be added to the preliminary plat sheets where the utilities are shown.

8. A copy of the approved Concept Plan should be provided.

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



Ms. Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA
1500 County Road 269.
Leander, Texas 78641

CBD Project No. 5163
Date: 03/10/2021

RE: Comment Response – Update #1
Manor Apartments – Preliminary Plat
10721 1/2 Tur Weg Lane,
Manor, Travis County, TX 78653
COM Case No. **2020-P-1284-PP**

Dear Ms. Gray:

Please accept this letter and the accompanying support material as our update to the comments received by your office on December 03, 2020 for the above referenced project. We have reviewed these comments and responded in the following manner:

1. The topographic data shall extend outward from the property boundary for a distance equal to twenty-five percent (25%) of the distance across the tract, but not fewer than fifty (50) feet nor more than two hundred (200) feet as required per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(2)(vi)
Response: The topographical data has been extended 200 ft (max) outward from the property boundary.
2. Significant trees within the boundaries of the subdivision and of 8-inch caliper and larger shall be shown on the preliminary plat. Landscape Sheets were provided. Please provide this information on a separate sheet than the Landscape Plans. Landscape Plans are not required to be submitted with the preliminary plat.
Response: Significant trees 8-inch caliper and larger are all shown on the prelim plat. Please reference the Existing Conditions (sheet 2).
3. The storm drain lines are shown to be HDPE. Are the lines private or public? Any public storm drain lines are required to be RCP.
Response: Storm drain lines shown onsite (10.74-acre tract) are to be privately maintained and will consist of HDPE. Storm drain lines shown within the ROW and/or offsite will be publicly maintained and consist of RCP. Please reference the Proposed Utility Improvements (sheet 3).
4. On the proposed improvements sheet, clearly label what is existing and what is proposed.
Response: A legend, callouts, and notes have all been added to the Proposed Utility Improvements (sheet 3) to clearly delineate and decipher proposed vs. existing improvements.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(3)(vii) and Section 22(b)(3)(viii):

Significant Trees to remain during construction showing the Critical Root Zones as solid circles, and Significant Trees designated to be removed showing the Critical Root Zones as dashed circles.

Replacement Trees shall be shown on the Preliminary Plat based on a replacement ratio (inches removed to inches planted) of:

- a) 1:2 for Significant Trees eighteen (18) inches in caliper and larger, and.
- b) 1: 1 for Significant Trees between eight (8) and eighteen (18) in caliper.
- c) Replacement Trees shall not be required for the removal of trees smaller than eight (8) inches in caliper. The removal of Significant Trees larger than eighteen inches in caliper require Commission approval.

This information should be provided on a sheet in the preliminary plat. Landscape plans should not be used to provide this information.

Response: A Tree Protection Plan (sheet 4) has been created and added to the overall Prelim Plat set. All existing trees have been surveyed and are accurately depicted on the plan. Existing trees to be preserved and/or removed as part of the development of Lot 1 are identified with a solid CRZ and dashed CRZ respectively. Tree tables, mitigation calculations, the location of replacement trees are also shown.

6. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 22(c)(4)(i), a drainage study, consisting of a Drainage Area Map with contours, location and capacities of existing and proposed drainage features, and calculations in accordance with this Ordinance and good engineering practices, shall be provided to ensure the property will be developed in accordance with City drainage policies. Nothing was provided for the proposed site.

Response: Existing and Proposed Drainage Area Maps have been added to the overall Prelim Plan set as sheets 5 and 6 respectively. Drainage calculation tables and Notes have also been provided and adhere to the overall Las Entradas drainage study prepared by AECOM dated October 30, 2008 (provided with initial submittal). In addition, drainage calculations have been provided on the Proposed Drainage Area Map (sheet 6) for the proposed 60" RCP stub/tie in point for the development.

7. Utility demand data should be added to the preliminary plat sheets where the utilities are shown.

Response: Utility demand data for the proposed multifamily development has been provided on the Proposed Utility Improvements (sheet 3).

8. A copy of the approved Concept Plan should be provided.

Response: See attached approval from Planning and Zoning Commission dated January 13, 2021.

If you or your team members should have any questions or require clarifications on any items, regarding the responses contained in this letter, please don't hesitate to contact our office at 512-280-5160 and we will be happy to discuss in more detail. Thank you for your effort in reviewing this project.

Sincerely,

CARLSON, BRIGANCE & DOERING, INC.

Firm # F3791

Amir Namakforoosh

Amir Namakforoosh, P.E.

Project Manager



Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Monday, April 5, 2021

Amir Namakforoosh
Carlson, Brigance & Doering, Inc.
12129 RR 620 N, Ste. 600
Austin 78750
amir@cbdeng.com

Permit Number 2020-P-1284-PP
Job Address: The Emerald MF - Las Entradas - Preliminary Plat, Manor 78653

Dear Amir Namakforoosh,

We have conducted a review of the preliminary plat for the above-referenced project, submitted by Amir Namakforoosh and received by our office on March 12, 2021, for conformance with the City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B. The Plans appear to be in general compliance with City Ordinance requirements and we therefore take no exception to their approval as presented.

Please submit a hard copy of the cover sheet to Scott Dunlop at the City of Manor for signatures. A copy of the signed cover sheet will be uploaded under project files on the my permit now website.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Pauline M. Gray".

Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).

Applicant: GarzaEMC

Owner: Butler Family Partnership, Ltd.

BACKGROUND/SUMMARY:

This property is a portion in the city limits of Manor and majority in Austin’s 2-mile ETJ. It also is more than half impaired by the Gilliland Creek floodplain so the developable area (without approved floodplain modifications) is approximately 28.50 acres. Our zoning recommends that Light Industrial areas be “along major roadways, but not directly along US Hwy 290.” On our Thoroughfare Plan, Hill Lane is proposed to be a primary collector (2 lanes at 41’ of pavement in 64’ of ROW) and there is an additional primary collector outside the city limits that would connect Hill Lane north to the intersection of Gregg Manor and Fuchs Grove. The future roadway sizing would be sufficient to handle traffic and the location meets the intent of the criteria to not front along 290 but be in close proximity.

LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Letter of Intent
- Rezoning Map
- Area Image
- Thoroughfare map
- IN-1 Land Uses

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission approve a rezoning request for 43.92 acres, more or less, out of the James Manor Survey No. 40, Abstract 546, and being located in the 9900 block of Hill Lane, Manor, TX from Single Family (SF-1) to Light Industrial (IN-1).

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



April 16, 2021

City of Manor
Development services
105 E. Eggleston Street
Manor, Texas 77865

Re: Hill Lane Rezoning Request
TCAD Property ID 912584

Dear Sir or Madam,

On behalf of our Client, GarzaEMC is submitting this rezoning request on the referenced property.

The property referenced above that falls within the City of Manor Full Purpose Jurisdiction is requested to be rezoned from Single Family Residential – 1 (R-1) to Light Industrial (I-1).

The zoning applicable to the property currently does not provide for a reasonable use due to size of the property, site restraints, and the adjacent development and zoning. Through discussions with City of Manor Development Services Staff it has been advised that Light Industrial (I-1) would provide a better zoning match for the development that is proposed for this site.

With the above consideration, the proposed zoning fits in better with the area as the area is currently zoned mostly commercial or within the City of Austin ETJ where there are no zoning restrictions, and all known proposed developments are commercial uses. Commercial and Light Industrial share some of the same uses so even though there are no properties in the immediate area zoned industrial the zoning still fits within the same realm of uses and therefore will not change the character of the area.

Sincerely,

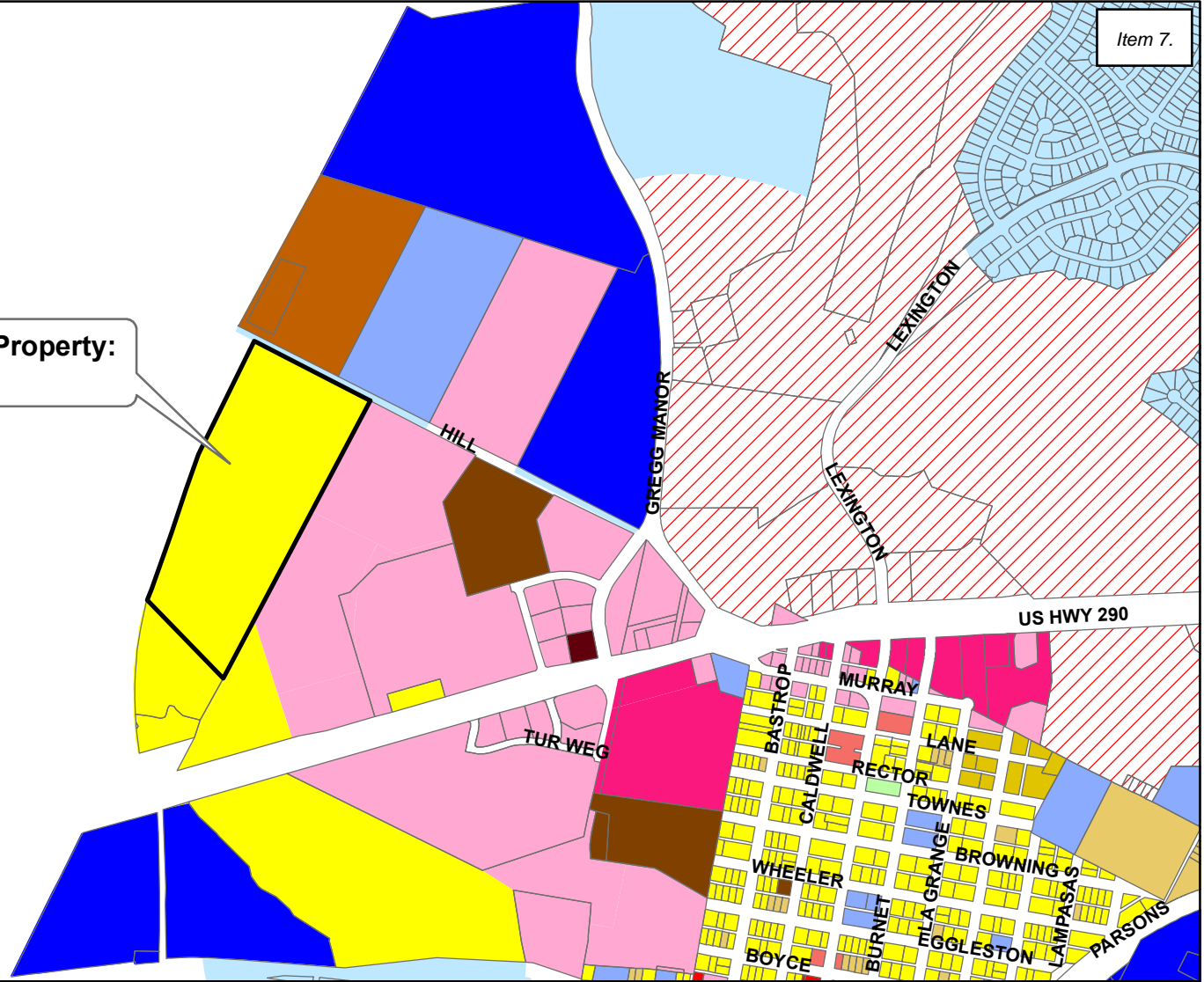
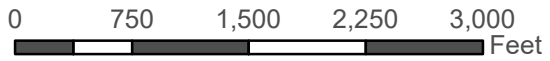
A handwritten signature in blue ink that reads 'B Todd'.

Brandon Todd for
Jonathan McKee
Vice President
GarzaEMC, LLC

Subject Property:
Hill Lane



1 inch = 1,231 feet

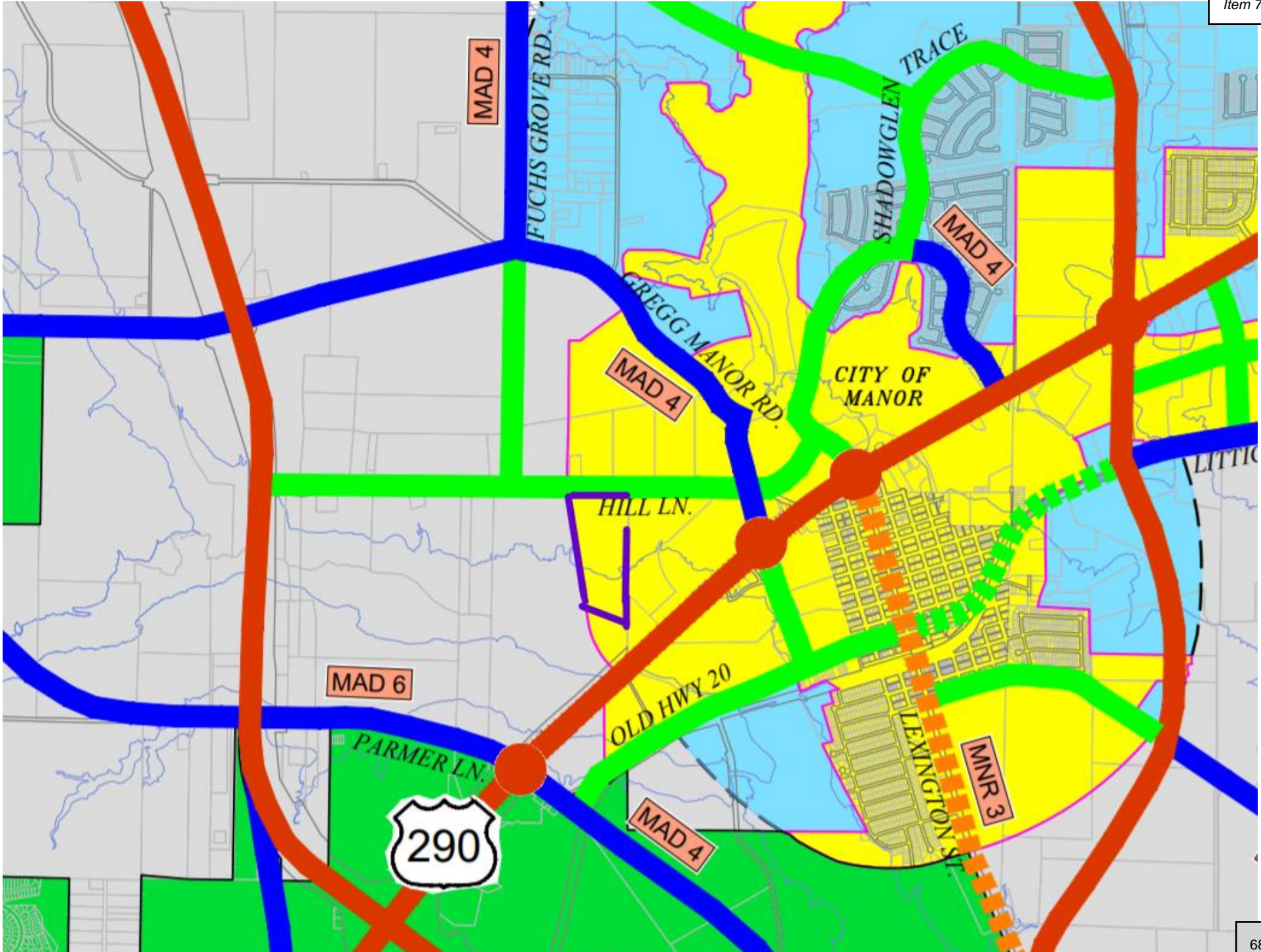


Proposed Zoning: IN-1 Light Industrial

*Current Zoning:
Single Family (SF-1)*

Zone			
	A - Agricultural		C-3 - Heavy Commercial
	SF-1 - Single Family Suburban		NB - Neighborhood Business
	SF-2 - Single Family Standard		DB - Downtown Business
	TF - Two Family		IN-1 - Light Industrial
	MF-1 - Multi-Family 15		IN-2 - Heavy Industrial
	MF-2 - Multi-Family 25		PUD - Planned Unit Development
			MH-1 - Manufactured Home
			I-1 - Institutional Small
			I-2 - Institutional Large
			GO - General Office
			C-1 - Light Commercial
			C-2 - Medium Commercial
			ETJ - Extrajurisdictional





(b) *Non-residential uses in non-residential and mixed-use zoning districts.*

Item 7.

EXPAND

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Adult day care		P	P					P	P		
Adult-oriented businesses									C/S	C/S	
Alcoholic beverage establishment					S	P	P	P	P		
Amusement (indoor)							C	C	C		
Amusement (outdoor)								C	C		
Antique shop					P	P	P	P	P		
Art studio or gallery		P	P		P	P	P	P	P	P	
Automobile repair (major)								C	C	C	C
Automobile repair (minor)							C	C	C	C	
Automobile sales and rental								C	C		
Automobile washing								C	C		

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Brewery, micro								P	P	P	P
Brewery, regional									P	P	P
Brewpub						P	P	P	P		
Business support services					P	P	P	P	P		
Campground	S	S	S								
Cemetery	S	P	P								
Child care center (intermediate)		P	P	P	P	P	P	P	P		
Child care center (large)		P	P	P	P	P	P	P	P		
Club or lodge		P	P	P	P	P	P	P	P		
Commercial off-street parking						C	C	C	C		
Communication services or facilities				P			P	P	P	P	
Construction and equipment sales (Major)									P	P	

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Construction and equipment sales (Minor)								P	P	P	
Construction services								C	C	C	C
Consumer repair services					P	P	P	P	P		
Contractor's shop									C	C	C
Data center				P					P	P	
Day camp	S	P	P								
Distillery, micro								P	P	P	P
Distillery, regional									P	P	P
Event center		P	P		C/S	C/S	C/S	P	P		
Financial services				C	C	C	C	C	C		
Financial services, alternative								C	C		
Florist					C	C	C	C	C		
Food court establishment								C/S	C/S	C/S	
Food preparation						C	C	C	C	C	C

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Food sales					C	C	C	C	C		
Funeral services		C	C		C	C	C	C	C	C	C
Game room								C/S	C/S	C/S	
Gasoline station (full-service)								C	C		
Gasoline station (limited)					C/S		C/S	C	C		
General retail sales (convenience)				P	P	P	P	P	P		
General retail sales (general)					P	P	P	P	P		
Golf course/country club	S										
Governmental facilities	P	P	P	P	P	P	P	P	P	P	P
Hospital services		P	P	P							
Hotel					C/S	C	C	C	C		
Industrial use, light									P	P	
Industrial use, heavy											P

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Kennel								C	C	C	
Laundry services								P	P	P	P
Laundry services (self)					P	P	P	P	P		
Liquor sales					P	P	P	P	P		
Medical clinic		P	P	P	P	P					
Metal recycling entity											C
Mini-storage warehouse								C	C	C	
Offices, government	P	P	P	P	P	P	P	P	P	P	P
Offices, medical		P	P	P	P	P					
Offices, professional		P	P	P	P	P					
Offices, showroom									P	P	
Offices, warehouse									C	C	C
Off-site accessory parking		P	P	P		P	P	P	P	P	P
Pawnshop								C/S	C/S	C/S	

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Personal improvement services					P	P	P	P	P		
Personal services					P	P	P	P	P		
Printing and publishing				C	C	C	C	C	C		
Product development services (general)				P					P	P	
Product development services (hazard)											P
Recreational vehicle park								C/S	C/S		
Recreational vehicle sales, service, and rental								C	C	C	
Recycling operation (indoor)										P	P
Recycling operation (outdoor)											C
Religious assembly	P	P	P	P	P	P	P	P	P	P	P

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Research services (general)				P					P	P	
Research services (hazard)											P
Restaurant				P	P	P	P	P	P		
Restaurant—Drive- in or drive-through							C	C	C		
School, boarding		P	P				P	P	P		
School, business or trade		P	P				P	P	P		
School, college or university		P	P					P	P		
School, private or parochial		P	P				P	P	P		
School, public		P	P				P	P	P		
Shooting range, indoor									P	P	
Smoke shop or tobacco store								P	P		
Theater							P	P	P		

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Transportation terminal								C	C	C	C
Truck and trailer sales and rental								C	C	C	
Truck stop									P	P	
Utility services, major			C							C	C
Utility services, minor	P	P	P	P	P	P	P	P	P	P	P
Vehicle storage facility									C	C	
Veterinary services, large								C	C		
Veterinary services, small					C	C	C	C	C		
Wireless transmission facilities (WTF), attached	C	C	C	C	C/S	C/S	C	C	C	C	C
Wireless transmission facilities (WTF) monopole	C/S	C/S	C/S	C/S			C/S	C/S	C/S	C/S	C/S

Item 7.

Non-Residential Uses	Zoning Districts										
	OS	I-1	I-2	GO	NB	DB	C-1	C-2	C-3	IN-1	IN-2
Wireless transmission facilities (WTF), stealth	C	C	C	C	C/S	C/S	C	C	C	C	C
Zoo, private								P	P		



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for the Village at Manor Commons Phase 4, seventy-three (73) lots on 14.934 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.

Applicant: ALM Engineering, Inc.
Owner: Greenview Development Greenbury, L.P.

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is 71 single family lots and 2 drainage lots. This section includes the connection of Ring Road in Bell Farms/Carriage Hills to Ring Road by 973/Walmart.

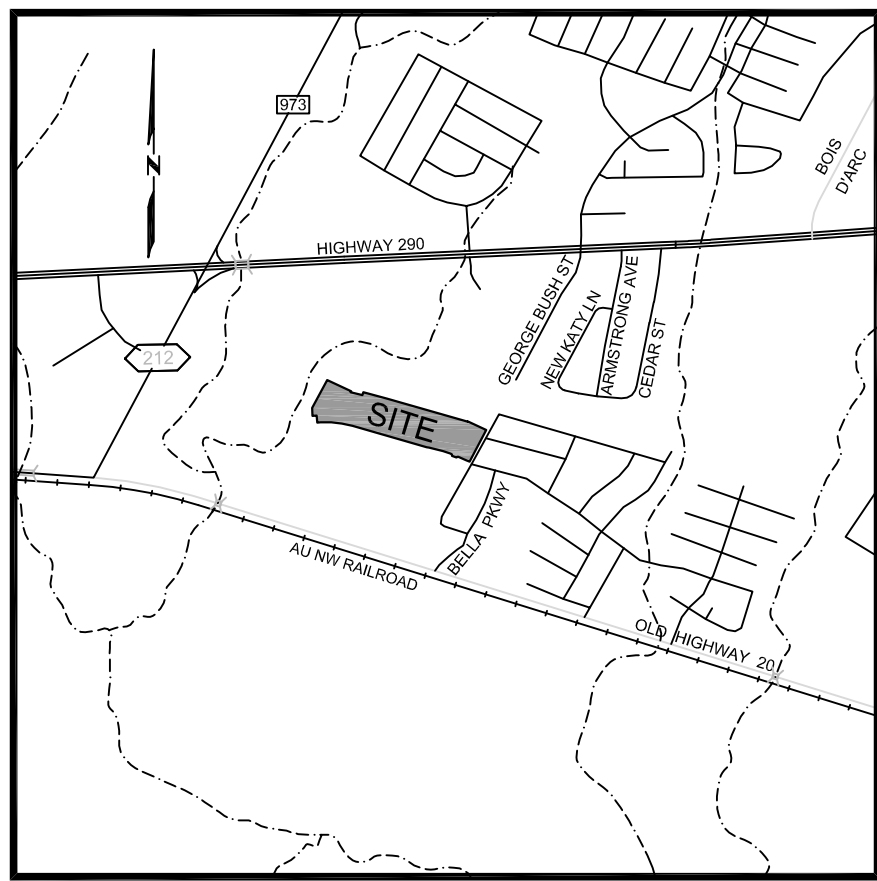
LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission approve a Final Plat for the Village at Manor Commons Phase 4, seventy-three (73) lots on 14.934 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



OWNER: GREENVIEW DEVELOPMENT GREENBURY, L.P.
 BARTH TIMMERMANN, PRESIDENT
 501 VALE STREET
 AUSTIN, TEXAS 78746
 (512)479-6614
 (512)479-6577 (FAX)

ENGINEER: MATTHEW MITCHELL, P.E.
 ALM ENGINEERING, INC.
 925 S. CAPITAL OF TX HWY, SUITE B220
 WEST LAKE HILLS, TEXAS 78746
 (512)431-9600

SURVEYOR: SHANE SHAFER, R.P.L.S.
 DIAMOND SURVEYING, INC.
 116 SKYLINE ROAD
 GEORGETOWN, TX 78638
 (512)931-3100

DATE: _____

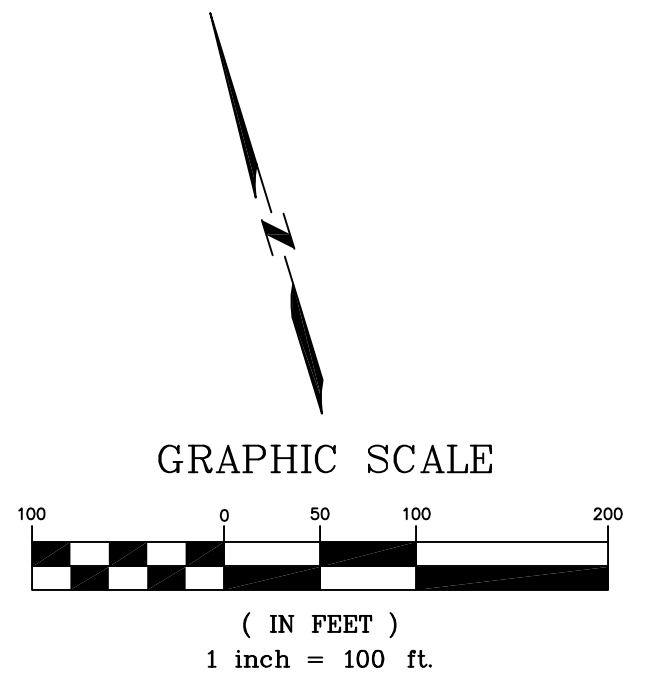
VILLAGE AT MANOR COMMONS

PHASE 4

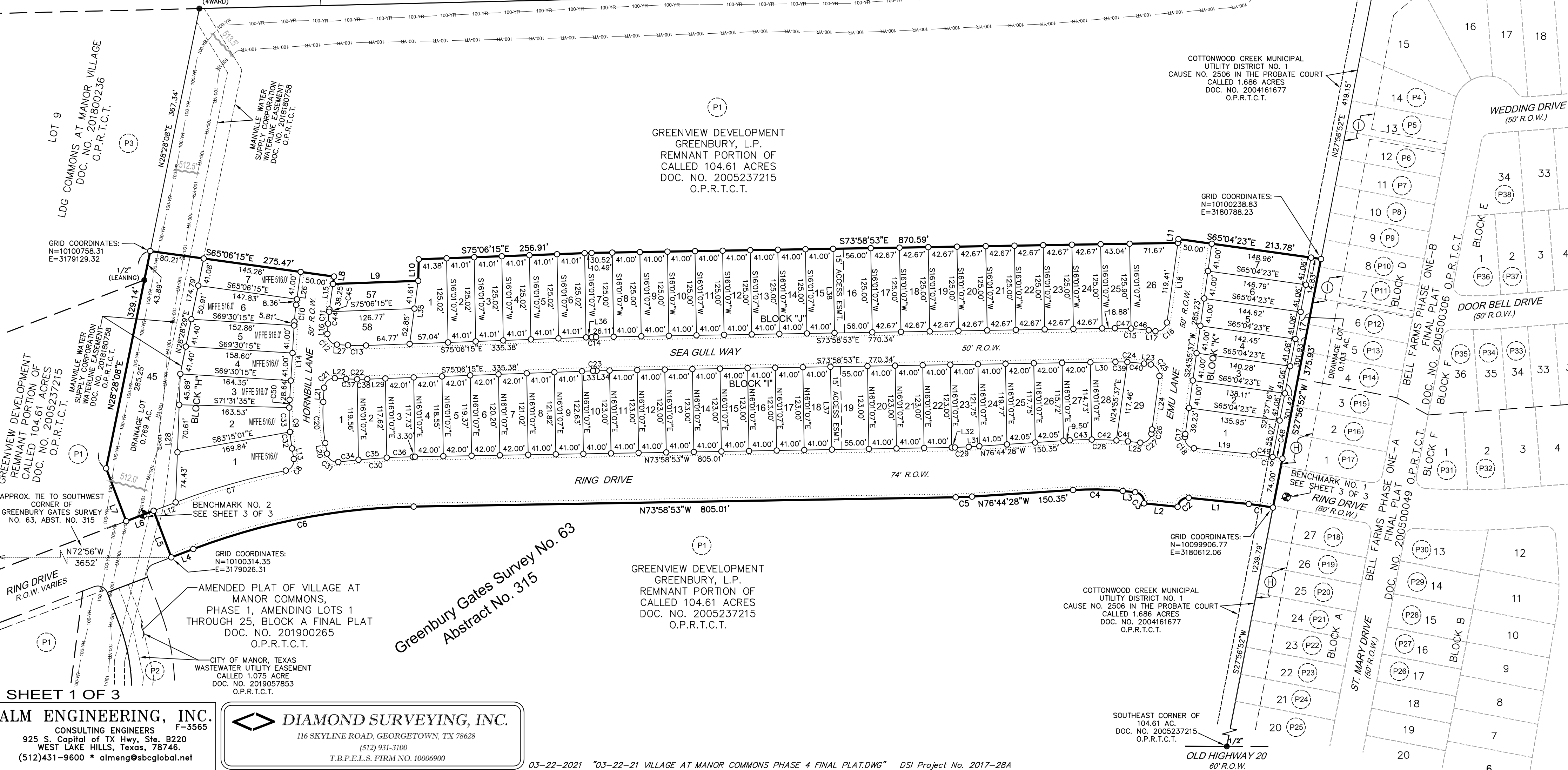
FINAL PLAT

14.934 ACRES

CITY OF MANOR, TRAVIS COUNTY, TEXAS



VICINITY MAP
 (1" = 2000')





Texas Engineering Firm #4242

Date: Thursday, February 25, 2021

Matthew Mitchell
ALM ENGINEERING, INC.
925 S CAPITAL OF TX HWY
WEST LAKE HILLS 78746
almeng@sbcglobal.net

Permit Number 2021-P-1305-FP
Job Address: RING DR, MANOR, TX. 78653

Dear Matthew Mitchell,

The first submittal of the Village at Manor Commons Phase 4 Final Plat (*Final Plat*) submitted by ALM ENGINEERING, INC. and received on March 26, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. Note if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation , then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with City Ordinances.
2. Verify that the street names shown for Bell Farms are correct.
3. Clearly label all Blocks.
4. A plat note should be added noting who will own and maintain the drainage lot.
5. This required plat note is missing: THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE ____DAY OF _____, 20____.

2/25/2021 11:06:36 AM
Village at Manor Commons Phase 4 Final Plat
2021-P-1305-FP
Page 2

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



March 22, 2021

Jay Engineering Company, Inc.

P.O. Box 1220
Leander, TX 78646-1220
Permit Number 2021-P-1305-FP
Job Address: RING DR, MANOR, TX. 78653

Engineer Review
Pauline Gray, P.E.
(512) 259-3882
pgray@gbateam.com.

1. Note if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation , then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with City Ordinances.
RESPONSE: Noted.

2. Verify that the street names shown for Bell Farms are correct.
RESPONSE: VERIFIED STREET NAMES CORRECTED

3. Clearly label all Blocks.
RESPONSE: BLOCK TEXT CLEARLY LABELED

4. A plat note should be added noting who will own and maintain the drainage lot.
RESPONSE: PLAT NOTE 18

5. This required plat note is missing: THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE ____ DAY OF _____, 20 ____.
RESPONSE: WAS PLAT NOTE 18 NOW PLAT NOTE 19.

If you have any questions, please contact me at (512) 431-9600.

Sincerely,



Matt Mitchell, P.E.





Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Tuesday, April 20, 2021

Matthew Mitchell
ALM ENGINEERING, INC.
925 S CAPITAL OF TX HWY
WEST LAKE HILLS 78746
almeng@sbcglobal.net

Permit Number 2021-P-1305-FP
Job Address: RING DR, MANOR 78653

Dear Matthew Mitchell,

We have conducted a review of the final plat for the above-referenced project, submitted by Matthew Mitchell and received by our office on March 26, 2021, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Pauline M. Gray".

Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for the Village at Manor Commons Phase 5, seventy-six (76) lots on 15.394 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.

Applicant: ALM Engineering, Inc.
Owner: Greenview Development Greenbury, L.P.

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is 74 single family lots and 2 drainage lots.

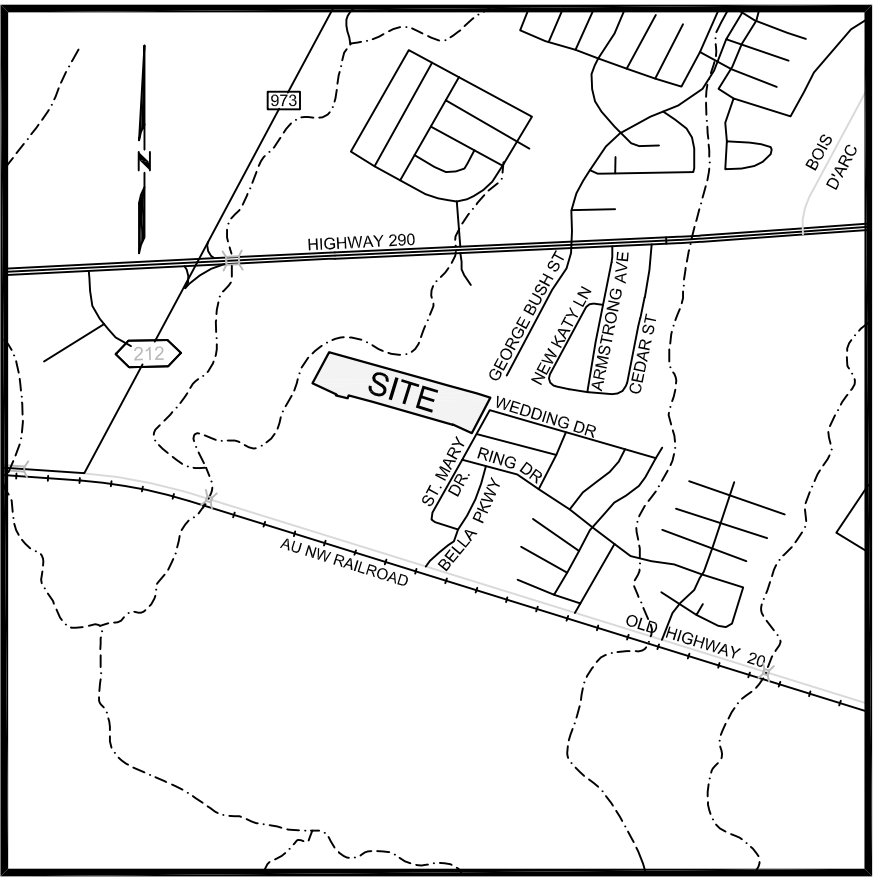
LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City staff’s recommendation that the Planning and Zoning Commission approve a Final Plat for the Village at Manor Commons Phase 5, seventy-six (76) lots on 15.394 acres, more or less, and being located near the intersection of Ring Road and Skimmer Run, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



OWNER: GREENVIEW DEVELOPMENT GREENBURY, L.P.
 BARTH TIMMERMANN, PRESIDENT
 501 VALE STREET
 AUSTIN, TEXAS 78746
 (512)479-6614
 (512)479-6577 (FAX)

ENGINEER: MATTHEW MITCHELL, P.E.
 ALM ENGINEERING, INC.
 925 S. CAPITAL OF TX HWY, SUITE B220
 WEST LAKE HILLS, TEXAS 78746
 (512)431-9600

SURVEYOR: SHANE SHAFER, R.P.L.S.
 DIAMOND SURVEYING, INC.
 116 SKYLINE ROAD
 GEORGETOWN, TX 78638
 (512)931-3100

DATE: _____

VILLAGE AT MANOR COMMONS

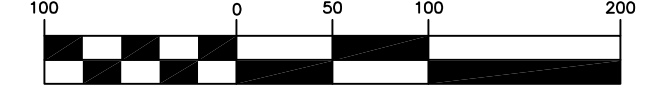
PHASE 5

FINAL PLAT

15.394 ACRES

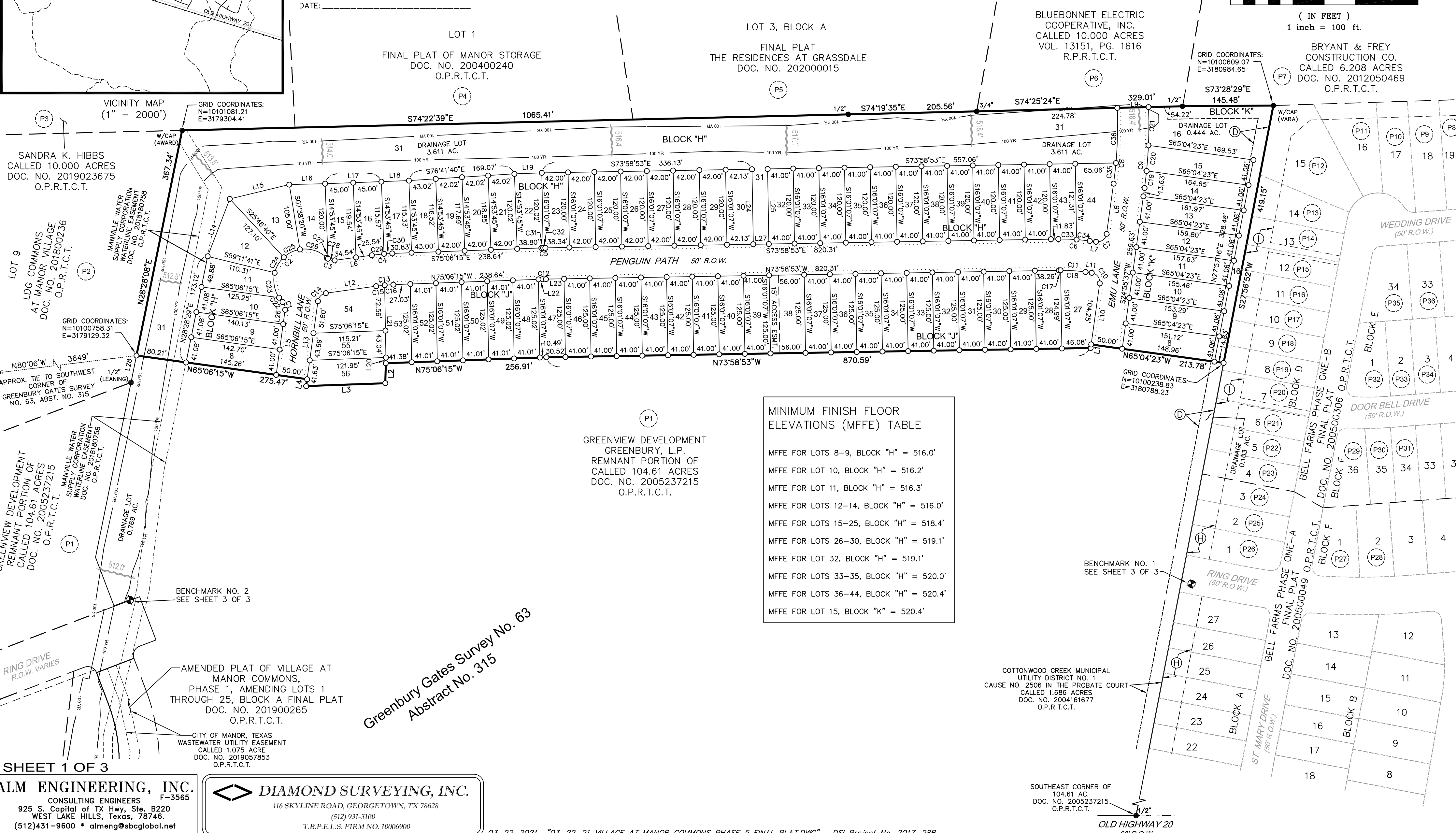
CITY OF MANOR, TRAVIS COUNTY, TEXAS

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

BRYANT & FREY
 CONSTRUCTION CO.
 CALLED 6.208 ACRES
 DOC. NO. 2012050469
 O.P.R.T.C.T.



MINIMUM FINISH FLOOR ELEVATIONS (MFFE) TABLE

MFFE FOR LOTS 8-9, BLOCK "H" = 516.0'

MFFE FOR LOT 10, BLOCK "H" = 516.2'

MFFE FOR LOT 11, BLOCK "H" = 516.3'

MFFE FOR LOTS 12-14, BLOCK "H" = 516.0'

MFFE FOR LOTS 15-25, BLOCK "H" = 518.4'

MFFE FOR LOTS 26-30, BLOCK "H" = 519.1'

MFFE FOR LOT 32, BLOCK "H" = 519.1'

MFFE FOR LOTS 33-35, BLOCK "H" = 520.0'

MFFE FOR LOTS 36-44, BLOCK "H" = 520.4'

MFFE FOR LOT 15, BLOCK "K" = 520.4'

GREENVIEW DEVELOPMENT
 GREENBURY, L.P.
 REMNANT PORTION OF
 CALLED 104.61 ACRES
 DOC. NO. 2005237215
 O.P.R.T.C.T.

Greenbury Gates Survey No. 63
 Abstract No. 315

ALM ENGINEERING, INC.
 CONSULTING ENGINEERS
 925 S. Capital of TX Hwy, Ste. B220
 WEST LAKE HILLS, TEXAS, 78746.
 (512)431-9600 * almeng@sbcglobal.net

DIAMOND SURVEYING, INC.
 116 SKYLINE ROAD, GEORGETOWN, TX 78628
 (512) 931-3100
 T.B.P.E.L.S. FIRM NO. 10006900



Texas Engineering Firm #4242

Date: Thursday, February 25, 2021

Matthew Mitchell
ALM ENGINEERING, INC.
925 S CAPITAL OF TX HWY
WEST LAKE HILLS 78746
almeng@sbcglobal.net

Permit Number 2021-P-1304-FP
Job Address: Ring Road, MANOR, TX. 78653

Dear Matthew Mitchell,

The first submittal of the Village at Manor Commons Phase 5 Final Plat (*Final Plat*) submitted by ALM ENGINEERING, INC. and received on March 26, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. Note if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation , then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with City Ordinances.
2. Verify that the street names shown for Bell Farms are correct.
3. Is Penguin Path the name of the entire street?
4. Clearly label all Blocks.
5. A plat note should be added noting who will own and maintain the drainage lot.
6. This required plat note is missing: THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE ____DAY OF _____, 20____.

2/25/2021 11:07:13 AM
Village at Manor Commons Phase 5 Final Plat
2021-P-1304-FP
Page 2

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



March 22, 2021

Jay Engineering Company, Inc.

P.O. Box 1220
Leander, TX 78646-1220
Permit Number 2021-P-1304-FP
Job Address: Ring Road, MANOR, TX. 78653

Engineer Review
Pauline Gray, P.E.
(512) 259-3882
pgray@gbateam.com.

1. Note if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation , then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with City Ordinances.
RESPONSE: Noted.

2. Verify that the street names shown for Bell Farms are correct.
RESPONSE: VERIFIED STREET NAMES CORRECTED

3. Is Penguin Path the name of the entire street?
RESPONSE: The north/south section has been changed to Hornbill Lane as shown on the preliminary plat.

4. Clearly label all Blocks.
RESPONSE: BLOCK TEXT CLEARLY LABELED

5. A plat note should be added noting who will own and maintain the drainage lot.
RESPONSE: PLAT NOTE 18

6. This required plat note is missing: THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE ____ DAY OF _____, 20 ____.
RESPONSE: WAS PLAT NOTE 18 NOW PLAT NOTE 19

If you have any questions, please contact me at (512) 431-9600.

Sincerely,



Matt Mitchell, P.E.





Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Tuesday, April 20, 2021

Matthew Mitchell
ALM ENGINEERING, INC.
925 S CAPITAL OF TX HWY
WEST LAKE HILLS 78746
almeng@sbcglobal.net

Permit Number 2021-P-1304-FP
Job Address: Ring Road, MANOR 78653

Dear Matthew Mitchell,

We have conducted a review of the final plat for the above-referenced project, submitted by Matthew Mitchell and received by our office on March 26, 2021, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Pauline M. Gray".

Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



AGENDA ITEM SUMMARY FORM

PROPOSED MEETING DATE: May 12, 2021
PREPARED BY: Scott Dunlop, Assistant Director
DEPARTMENT: Development Services

AGENDA ITEM DESCRIPTION:

Consideration, discussion, and possible action on a Final Plat for Manor Heights Subdivision Phase 2 Section 2, ninety-four (94) lots on 27.305 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

Applicant: Kimley-Horn and Associates, Inc.
Owner: Forestar (USA) Real Estate Group, Inc.

BACKGROUND/SUMMARY:

This plat has been approved by our engineers. It is 91 single family lots, 1 parkland lot, 1 amenity center lot, and 1 drainage lot.

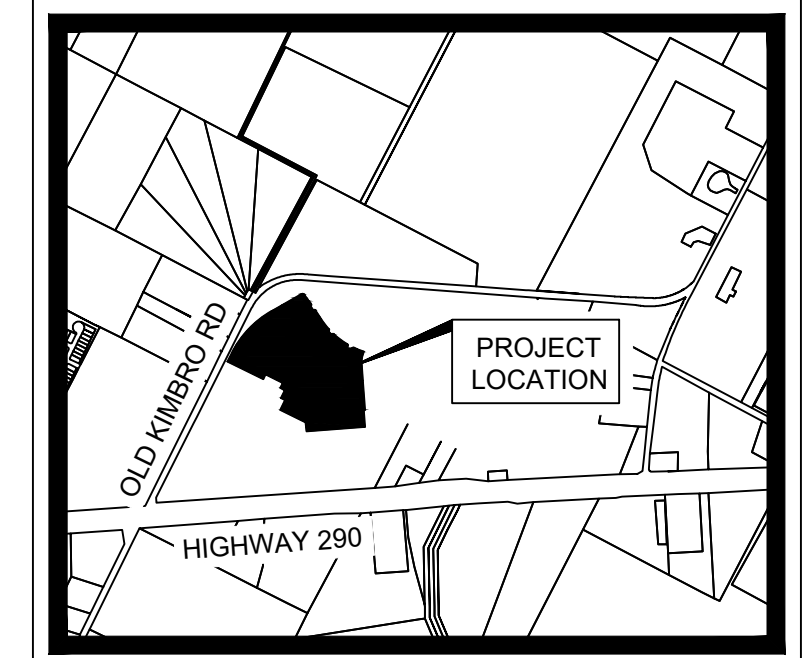
LEGAL REVIEW: Not Applicable
FISCAL IMPACT: No
PRESENTATION: No
ATTACHMENTS: Yes

- Plat
- Engineer Comments
- Conformance Letter

STAFF RECOMMENDATION:

It is the City staff's recommendation that the Planning and Zoning Commission approve a Final Plat for Manor Heights Subdivision Phase 2 Section 2, ninety-four (94) lots on 27.305 acres, more or less, and being located near US Hwy 290 E and Old Kimbro Road, Manor, TX.

PLANNING & ZONING COMMISSION: **Recommend Approval** **Disapproval** **None**



VICINITY MAP
SCALE: 1" = 2,000'

GENERAL INFORMATION:

TOTAL ACREAGE	27.305 ACRES
TOTAL LINEAR FEET OF 50' ROW	3,954'
ACREAGE OF ROW	4,659 ACRES
NUMBER OF SINGLE FAMILY LOTS	91
ACREAGE OF SINGLE FAMILY LOTS	17,360 ACRES
NUMBER OF NON-RESIDENTIAL LOTS	3
ACREAGE OF NON-RESIDENTIAL LOTS	5,286 ACRES
TOTAL NUMBER OF LOTS	94

LEGEND

IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IPF	IRON PIPE FOUND
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT OF WAY
S.D.E.	SIGHT DISTANCE EASEMENT
OPRTC	OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS
(A)	BLOCK IDENTIFIERS

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166 FAX: (210) 541-8699
CONTACT: JOHN G. MOSIER, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
TBPE FIRM REGISTRATION NO. F-928
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: ALEJANDRO E. GRANADOS RICO, P.E.

OWNER/DEVELOPER:
FORESTAR (USA) REAL ESTATE GROUP INC.,
A DELAWARE CORPORATION
2221 E. LAMAR BLVD., SUITE 790
ARLINGTON, TEXAS 76006
DALLAS COUNTY
CONTACT: JOHN MABERRY

MANOR HEIGHTS PHASE 2, SECTION 2
27.305 ACRES
BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT
RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL
PUBLIC RECORDS OF TRAVIS COUNTY,
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154
CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn

601 NW Loop 410, Suite 350 San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	APS	JGM	3/30/2021	069255703	1 OF 3

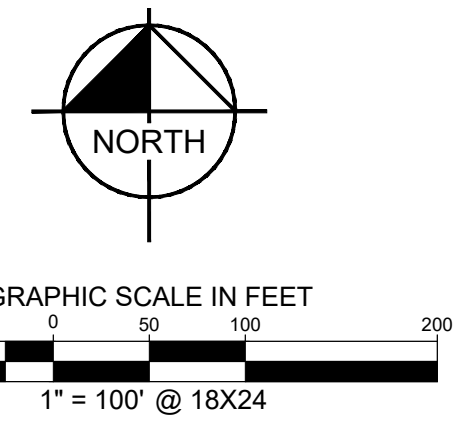


CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	33°44'24"	1042.98'	614.18'	N43°24'00"E	605.35'
C2	87°00'00"	25.00'	37.96'	S76°13'50"E	34.42'
C3	4°30'37"	314.50'	24.76'	S34°59'08"E	24.75'
C4	4°30'37"	285.50'	22.47'	S34°59'08"E	22.47'
C5	90°00'00"	15.00'	23.56'	S12°16'10"W	20.70'
C6	90°00'00"	15.00'	23.56'	S77°43'50"E	21.21'
C7	9°04'25"	825.00'	130.65'	S37°16'02"E	130.51'
C8	87°16'14"	15.00'	22.85'	S01°49'53"W	20.70'
C9	87°16'14"	15.00'	22.85'	N89°06'07"E	20.70'
C10	11°42'16"	825.00'	168.53'	S53°06'54"E	168.24'
C11	78°36'23"	15.00'	20.58'	S19°56'26"E	19.00'
C12	1°50'28"	525.00'	16.87'	S18°00'20"W	16.87'
C13	97°22'38"	15.00'	25.49'	N66°32'07"E	22.53'
C14	7°45'03"	825.00'	111.60'	S68°39'06"E	111.52'
C15	8°00'00"	500.00'	69.81'	N67°34'50"W	69.78'
C16	15°47'53"	300.00'	82.72'	N55°40'54"W	82.46'
C17	43°45'25"	300.00'	229.11'	N25°54'15"W	223.58'
C18	19°02'31"	300.00'	99.70'	S84°44'07"E	99.25'
C19	21°20'25"	500.00'	186.23'	S06°24'50"W	185.15'
C20	139°29'32"	180.00'	438.23'	S24°16'46"E	337.74'
C21	30°51'01"	300.00'	161.53'	S41°50'40"W	159.59'
C22	52°01'12"	15.00'	13.62'	N00°24'33"E	13.16'
C23	186°02'25"	50.00'	162.35'	S67°25'10"W	99.86'
C24	52°01'12"	15.00'	13.62'	S45°34'14"E	13.16'

LINE TABLE

NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N32°43'50"W	35.18'	L12	N17°27'55"E	6.32'
L2	S37°14'27"E	27.24'	L13	S04°01'32"E	73.17'
L3	S32°43'50"W	8.19'	L14	S75°12'51"E	57.07'
L4	S33°52'34"E	50.01'	L15	N85°58'28"E	87.12'
L5	N57°16'10"E	4.00'	L16	S45°28'00"W	61.30'
L6	S45°28'00"W	4.00'	L17	N57°16'10"E	60.17'
L7	S44°32'00"E	50.00'	L18	S02°12'01"E	55.58'
L8	N45°28'00"E	4.00'	L19	S04°15'22"E	50.00'
L9	S59°06'20"E	3.98'	L21	S59°40'42"W	170.25'
L10	S19°08'40"W	4.00'			
L11	S72°54'57"E	50.00'			



DWG NAME: I:\SNA\F01\TX_SNA\ISA_SURV\MANOR HEIGHTS DEVELOPMENT\069255703-MANOR HTS PHASE 2\DWG\PLATS\MANOR HTS PHASE 2.DWG PLOTTED BY: PAPA, AMY 3/30/2021 5:15 PM LAST SAVED: 3/14/2021 6:20 PM

THE STATE OF TEXAS §
§ KNOW ALL MEN BY THESE PRESENTS:
COUNTY OF TRAVIS §

WHEREAS, FORESTAR (USA) REAL ESTATE GROUP INC., A DELAWARE CORPORATION, THE OWNER OF 27.305 ACRE TRACT LOCATED IN THE A.C. CALDWELL SURVEY NUMBER 52, ABSTRACT NUMBER 154, CITY OF MANOR, TRAVIS COUNTY, TEXAS AND BEING A PORTION OF THAT CERTAIN 90.0886 ACRE TRACT OF LAND CONVEYED TO FORESTAR (USA) REAL ESTATE GROUP INC., AS DESCRIBED IN DOCUMENT NUMBER 2017194263, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS, AND DO HEREBY SUBDIVIDE SAID, HAVING BEEN APPROVED FOR SUBDIVISION, PURSUANT TO THE PUBLIC NOTIFICATION AND HEARING PROVISION OF CHAPTER 212 AND 232 OF THE LOCAL GOVERNMENT CODE.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS "MANOR HEIGHTS PHASE 2, SECTION 2" OF THE CITY OF MANOR, TRAVIS COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY SUBDIVIDES SAID 27.305 ACRES OF LAND OF SAID IN ACCORDANCE WITH THE ATTACHED MAP OR PLAT TO BE KNOWN AS "MANOR HEIGHTS PHASE 2, SECTION 2" AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS AND PUBLIC EASEMENTS THEREON SHOWN FOR THE PURPOSED AND CONSIDERATION THEREIN EXPRESSED: SUBJECT TO ANY EASEMENT OR RESTRICTIONS HERETOFORE GRANTED AND NOT RELEASED.

WITNESS MY HAND THIS DAY _____, ____.

BY:
FORESTAR (USA) REAL ESTATE GROUP INC.,
A DELAWARE CORPORATION

2221 E. LAMAR BLVD. SUITE 790
ARLINGTON, TEXAS 76006

THE STATE OF _____ §
COUNTY OF _____ §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON OR AGENT WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED AND IN THE CAPACITY HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 2021.

NOTARY PUBLIC
NOTARY REGISTRATION NUMBER _____
MY COMMISSION EXPIRES: _____
COUNTY OF _____
THE STATE OF _____

STATE OF TEXAS §
COUNTY OF TRAVIS §

I, ALEJANDRO E. GRANADOS RICO, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF ENGINEERING, AND HEREBY CERTIFY THAT THIS PLAT IS FEASIBLE FROM AN ENGINEERING STAND POINT AND COMPLIES WITH THE ENGINEERING RELATED PORTION OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

THIS SITE IS LOCATED IN THE COTTONWOOD CREEK WATERSHED.

NO PORTION OF THIS SITE LIES WITHIN THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48453C0485J, EFFECTIVE DATE AUGUST 18, 2014, TRAVIS COUNTY, TEXAS AND INCORPORATED AREAS.

ALEJANDRO E. GRANADOS RICO, P.E.
REGISTERED PROFESSIONAL ENGINEER No. 130084
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD
AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759

STATE OF TEXAS §
COUNTY OF BEXAR §

I, JOHN G. MOSIER, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSION OF SURVEYING, AND HEREBY CERTIFY THAT THIS PLAT COMPLIES WITH THE SURVEYING RELATED PORTIONS OF THE CITY OF MANOR, TEXAS SUBDIVISION ORDINANCE IS TRUE AND CORRECT, AND WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION.

JOHN G. MOSIER
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6330 - STATE OF TEXAS
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
Ph. 210-321-3402
greg.mosier@kimley-horn.com

GENERAL NOTES:

- 1. PROPERTY OWNERS OF THE LOTS ON WHICH THE PUBLIC UTILITY EASEMENT OR THE UNDERGROUND STORM WATER DRAINAGE FACILITIES EASEMENT ARE LOCATED AS SHOWN ON THIS PLAT SHALL PROVIDE ACCESS TO THE CITY OF MANOR IN ORDER FOR THE CITY OF MANOR TO INSPECT AND MAINTAIN THE UNDERGROUND FACILITIES LOCATED WITHIN ANY OF SUCH EASEMENTS.
2. A 10' PUBLIC UTILITY EASEMENT IS HEREBY DEDICATED ALONG AND ADJACENT TO ALL STREET RIGHTS OF WAY.
3. PUBLIC SIDEWALKS BUILT TO CITY OF MANOR STANDARDS, ARE REQUIRED ALONG ALL STREETS WITHIN THIS SUBDIVISION, THESE SIDEWALKS SHALL BE IN PLACE PRIOR TO THE ADJOINING LOT BEING OCCUPIED, FAILURE TO CONSTRUCT THE REQUIRED SIDEWALKS MAY RESULT IN THE WITHHOLDING OF CERTIFICATES OF OCCUPANCY. BUILDING PERMITS, OR UTILITY CONNECTIONS BY THE GOVERNING BODY OR UTILITY COMPANY.
4. DRIVEWAY AND DRAINAGE CONSTRUCTION STANDARDS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE CITY OF MANOR STANDARDS UNLESS OTHERWISE SPECIFIED AND APPROVE BY THE CITY OF MANOR.
5. NO LOT IN THIS SUBDIVISION SHALL BE OCCUPIED UNTIL CONNECTION IS MADE TO THE CITY OF MANOR WATER AND WASTEWATER SYSTEM.
6. NO BUILDINGS SHALL BE CONSTRUCTED OR MAINTAINED WITHIN THE PUBLIC UTILITIES EASEMENTS OR THE UNDERGROUND STORM WATER FACILITIES EASEMENT WITHOUT THE PRIOR WRITTEN APPROVAL OF THE CITY OF MANOR. THE CITY OF MANOR IS NOT RESPONSIBLE FOR THE DAMAGE TO OR REPLACING ANY PORTIONS OF ANY FENCING, LANDSCAPING OR OTHER IMPROVEMENTS CONSTRUCTED WITHIN ANY OF SUCH EASEMENTS WHICH WERE NOT APPROVED BY THE CITY OF MANOR BEFORE THEIR CONSTRUCTION DUE TO THE NECESSARY AND CUSTOMARY WORK BY THE CITY OF MANOR IN REPAIRING, MAINTAINING, OR REPLACING THE UNDERGROUND PIPES AND RELATED FACILITIES WITHIN SUCH EASEMENTS.
7. ALL STREETS, DRAINAGE IMPROVEMENTS, SIDEWALKS, WATER AND WASTEWATER LINES, AND EROSION CONTROLS SHALL BE CONSTRUCTED AND INSTALLED TO CITY OF MANOR STANDARDS.
8. EROSION CONTROLS ARE REQUIRED FOR ALL CONSTRUCTION ON INDIVIDUAL LOTS, INCLUDING DETACHED SINGLE FAMILY IN ACCORDANCE WITH SECTION 1.4.0 OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL (FEBRUARY 20, 2020).
9. ALL STREETS IN THE SUBDIVISION SHALL BE CONSTRUCTED TO CITY OF MANOR URBAN STREET STANDARDS. ALL STREETS WILL BE CONSTRUCTED WITH CURB AND GUTTER.
10. PRIOR TO CONSTRUCTION, EXCEPT DETACHED SINGLE FAMILY ON ANY LOT IN THIS SUBDIVISION, A SITE DEVELOPMENT PERMIT MUST BE OBTAINED FROM THE CITY OF MANOR.
11. THE SUBDIVISION OWNER/DEVELOPER AS IDENTIFIED ON THIS PLAT IS RESPONSIBLE FOR POSTING FISCAL SURETY FOR THE CONSTRUCTION OF ALL SIDEWALKS AS SHOWN OR LISTED ON THE MANOR HEIGHTS PHASE 2 SECTION 2 FINAL PLAT, WHETHER INSTALLED BY THE OWNER/DEVELOPER OR INDIVIDUAL HOMEBUILDERS. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO ENSURE ALL SIDEWALKS ARE ADA COMPLIANT UNLESS A WAIVER HAS BEEN GRANTED BY THE TEXAS DEPARTMENT OF LICENSING AND REGULATION.
12. THE BEARINGS SHOWN HEREON ARE TIED TO THE TEXAS STATE PLANE COORDINATE SYSTEM GRID, CENTRAL ZONE 4203 (NAD83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS). ALL DISTANCES AND COORDINATES SHOWN HEREON ARE ON THE SURFACE. THE COMBINED SURFACE TO GRID SCALE FACTOR IS 0.99992097045. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.
13. THE BUILDING SETBACK LINES SHALL COMPLY WITH THE APPROVED MANOR HEIGHTS PUD (ORDINANCE NO. 534) AND ARE AS FOLLOWS:
(SEE TYPICAL SETBACK DETAIL)
FRONT YARD - 20'
REAR YARD - 25'
SIDE YARD - 5'
STREET SIDE YARD - 15'
14. THE HOME OWNERS ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL NON-RESIDENTIAL LOTS THAT ARE DEDICATED TO THE HOA.
15. PER THE APPROVED MANOR HEIGHTS PUD, MINIMUM SINGLE-FAMILY RESIDENTIAL LOT SHALL BE 6250 Sq.Ft. WITHIN PUD-SF-1 AND 3300 Sq.Ft. WITHIN PUD-MEDIUM DENSITY. THE MINIMUM HOME SIZES WILL COMPLY WITH THOSE SET FORTH IN THE MANOR HEIGHTS PUD OF 1500 Sq.Ft.
16. LOT 41, BLOCK K, OPEN SPACE DRAINAGE LOT, IS DEDICATED TO THE HOMEOWNER ASSOCIATION. THE HOMEOWNER ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 41, BLOCK K, OPEN SPACE DRAINAGE LOT IN ACCORDANCE WITH THAT CERTAIN DEVELOPMENT AGREEMENT (MANOR HEIGHTS) DATED EFFECTIVE NOVEMBER 7, 2018, AS AMENDED (THE "DEVELOPMENT AGREEMENT"). THE CITY OF MANOR WILL MAINTAIN THE PUBLIC STORM INFRASTRUCTURE IN LOT 41, BLOCK K, OPEN SPACE DRAINAGE LOT.
17. DEDICATION AND CONVEYANCE OF LOT 1, BLOCK I, PARKLAND SHALL BE MADE TO THE CITY OF MANOR, TEXAS IN ACCORDANCE WITH WITH THAT CERTAIN DEVELOPMENT AGREEMENT (MANOR HEIGHTS) DATED EFFECTIVE NOVEMBER 7, 2018, AS AMENDED (THE "DEVELOPMENT AGREEMENT"). THE OWNER/DEVELOPER SHALL ENTER INTO A LICENSE AGREEMENT WITH THE CITY IN SUBSTANTIALLY THE FORM PROVIDED IN THE DEVELOPMENT AGREEMENT. THE CITY SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 1, BLOCK I, PARKLAND UPON THE TERMINATION OF THE LICENSE AGREEMENT OR THE TERMINATION OF THE MAINTENANCE PERIOD PROVIDED IN THE DEVELOPMENT AGREEMENT, WHICHEVER IS LONGER.
18. LOT 1, BLOCK L, AMENITY CENTER LOT WILL BE OWNED BY THE HOMEOWNER ASSOCIATION. THE HOMEOWNER ASSOCIATION, AND/OR ITS SUCCESSORS AND ASSIGNS (THE "HOA") SHALL BE RESPONSIBLE FOR MAINTENANCE OF LOT 1, BLOCK L, AMENITY CENTER.
19. ACCESS TO NON-RESIDENTIAL LOTS SHALL BE PROVIDED TO THE CITY WHERE MAINTENANCE IS REQUIRED TO BE PERFORMED BY THE CITY IN ACCORDANCE WITH THAT CERTAIN DEVELOPMENT AGREEMENT (MANOR HEIGHTS) DATED EFFECTIVE NOVEMBER 7, 2018, AS AMENDED.

CITY OF MANOR ACKNOWLEDGMENTS

THIS SUBDIVISION IS LOCATED WITHIN THE CITY OF MANOR CORPORATE CITY LIMITS AS OF THIS DATE. ____ DAY OF _____, ____.

ACCEPTED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, ____.

APPROVED: ATTEST:
PHILIP TRYON, CHAIRPERSON LLUVIA ALMARAZ, CITY SECRETARY

ACCEPTED AND AUTHORIZED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF MANOR, TEXAS, ON THIS THE DATE. ____ DAY OF _____, ____.

APPROVED: ATTEST:
DR. LARRY WALLACE JR., MAYOR LLUVIA ALMARAZ, CITY SECRETARY

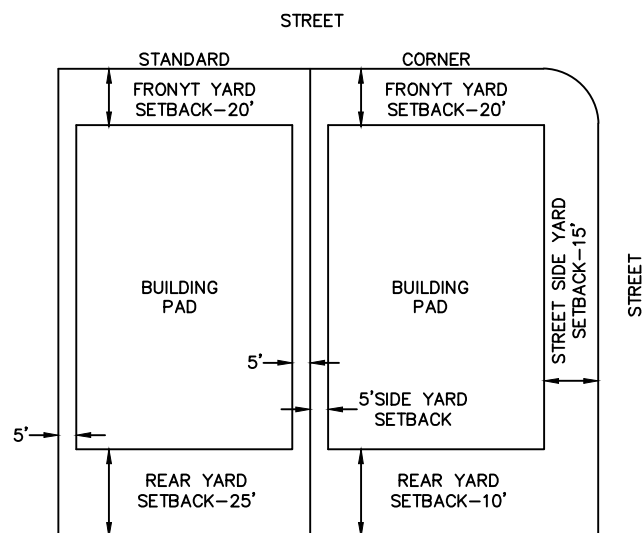
COUNTY OF TRAVIS:
STATE OF TEXAS:
KNOW ALL ME BY THESE PRESENTS:

I, DANA DEBEAUVOIR, CLERK OF TRAVIS COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT OF WRITING AND ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE ON THE DATE. ____ DAY OF _____, ____ AT _____ O'CLOCK____, DULY RECORDED ON THE DAY OF ____ DAY OF _____, 20____, AT _____ O'CLOCK____ IN THE PLAT RECORDS OF SAID COUNTY AND STATE IN DOCUMENT NUMBER _____, OFFICIAL RECORDS OF TRAVIS COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE OF THE COUNTY CLERK, THIS ____ DAY OF _____, ____.

DANA DEBEAUVOIR, COUNTY CLERK, TRAVIS COUNTY, TEXAS

BY:
DEPUTY



TYPICAL SETBACK DETAIL
NOT TO SCALE

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166 FAX: (210) 541-8699
CONTACT: JOHN G. MOSIER, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
TBPE FIRM REGISTRATION NO. F-928
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: ALEJANDRO E. GRANADOS RICO, P.E.

OWNER/DEVELOPER:
FORESTAR (USA) REAL ESTATE GROUP INC.,
A DELAWARE CORPORATION
2221 E. LAMAR BLVD., SUITE 790
ARLINGTON, TEXAS 76006
DALLAS COUNTY
CONTACT: JOHN MABERRY

MANOR HEIGHTS PHASE 2, SECTION 2
27.305 ACRES

BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154 CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn
601 NW Loop 410, Suite 350 San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166 www.kimley-horn.com
Scale N/A Drawn by APS Checked by JGM Date 3/30/2021 Project No. 069255703 Sheet No. 2 OF 3

**A METES AND BOUNDS
DESCRIPTION OF A
27.305 ACRE TRACT OF LAND**

BEING a 27.305 acre (1,189,380 square feet) tract of land situated in the A.C. Caldwell Survey No. 52, Abstract No. 154, City of Manor, Travis County, Texas; being a portion of a called 90.0886 acre tract of land described in instrument to RHOF, LLC recorded in Document No. 2017194263 of the Official Public Records of Travis County; and being more particularly described as follows:

COMMENCING at a 1/2-inch iron rod with a plastic cap stamped "KHA" found marking the southwesterly end of a curve on the southeasterly right-of-way line of Old Kimbro Road (80 feet wide) on the northwesterly line of said 90.0886 acre tract;

THENCE, South 26°31'49" West, along the southeasterly right-of-way line of said Old Kimbro Road, at a distance of 87.04 feet pass a concrete monument found on line, continuing for a total distance of 589.77 feet to the western-most southwest corner of said 90.0886 acre tract;

THENCE, South 63°36'50" East, 17.50 feet, departing the southeasterly right-of-way line of said Old Kimbro Road and along the southwesterly line of said 90.0886 acre tract to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for the **POINT OF BEGINNING** of the herein described tract;

THENCE, departing the southwesterly line of and crossing said 90.0886 acre tract, the following thirty-seven (37) courses and distances:

1. North 26°31'49" East, 93.07 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
2. in a northeasterly direction, along a tangent curve to the right, a central angle of 33°44'24", a radius of 1042.98 feet, a chord bearing and distance of North 43°24'00" East, 605.35 feet, and a total arc length of 614.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
3. North 60°16'10" East, 359.33 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
4. in a southeasterly direction, along a tangent curve to the right, a central angle of 87°00'00", a radius of 25.00 feet, a chord bearing and distance of South 76°13'50" East, 34.42 feet, and a total arc length of 37.96 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
5. South 32°43'50" East, 35.18 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
6. in a southeasterly direction, along a tangent curve to the left, a central angle of 4°30'37", a radius of 314.50 feet, a chord bearing and distance of South 34°59'08" East, 24.75 feet, and a total arc length of 24.76 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
7. South 37°14'27" East, 27.24 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
8. in a southeasterly direction, along a tangent curve to the right, a central angle of 4°30'37", a radius of 285.50 feet, a chord bearing and distance of South 34°59'08" East, 22.47 feet, and a total arc length of 22.47 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
9. South 32°43'50" East, 8.19 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
10. in a southwesterly direction, along a tangent curve to the right, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of South 12°16'10" West, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
11. South 33°52'34" East, 50.01 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
12. North 57°16'10" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
13. in a southeasterly direction, along a tangent curve to the right, a central angle of 90°00'00", a radius of 15.00 feet, a chord bearing and distance of South 77°43'50" East, 21.21 feet, and a total arc length of 23.56 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
14. South 32°43'50" East, 103.99 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
15. in a southeasterly direction, along a tangent curve to the left, a central angle of 9°04'25", a radius of 825.00 feet, a chord bearing and distance of South 37°16'02" East, 130.51 feet, and a total arc length of 130.65 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
16. in a southwesterly direction, along a tangent reverse curve to the right, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of South 1°49'53" West, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
17. South 45°28'00" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
18. South 44°32'00" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
19. North 45°28'00" East, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
20. in a northeasterly direction, along a tangent curve to the right, a central angle of 87°16'14", a radius of 15.00 feet, a chord bearing and distance of North 89°06'07" East, 20.70 feet, and a total arc length of 22.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
21. in a southeasterly direction, along a tangent reverse curve to the left, a central angle of 11°42'16", a radius of 825.00 feet, a chord bearing and distance of South 53°06'54" East, 168.24 feet, and a total arc length of 168.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
22. South 59°06'20" East, 3.98 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
23. in a southeasterly direction, along a tangent curve to the right, a central angle of 78°36'23", a radius of 15.00 feet, a chord bearing and distance of South 19°56'26" East, 19.00 feet, and a total arc length of 20.58 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of tangency;
24. South 19°08'40" West, 4.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
25. in a southwesterly direction, along a tangent curve to the left, a central angle of 1°50'28", a radius of 525.00 feet, a chord bearing and distance of South 18°00'20" West, 16.87 feet, and a total arc length of 16.87 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
26. South 72°54'57" East, 50.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
27. North 17°27'55" East, 6.32 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of curvature;
28. in a northeasterly direction, along a tangent curve to the right, a central angle of 97°22'38", a radius of 15.00 feet, a chord bearing and distance of North 66°32'07" East, 22.53 feet, and a total arc length of 25.49 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for a point of reverse curvature;
29. in a southeasterly direction, along a tangent reverse curve to the left, a central angle of 7°45'03", a radius of 825.00 feet, a chord bearing and distance of South 68°39'06" East, 111.52 feet, and a total arc length of 111.60 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
30. South 17°28'23" West, 58.50 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
31. South 5°42'09" West, 47.12 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
32. South 1°52'06" East, 47.91 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
33. South 4°00'13" East, 150.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
34. South 4°02'11" East, 310.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
35. South 85°44'38" West, 13.10 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
36. South 4°15'22" East, 175.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
37. South 85°44'38" West, 611.69 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set on the southwesterly line of said 90.0886 acre tract;

THENCE, along the southwesterly lines of said 90.0886 acre tract, the following ten (10) courses and distances:

1. North 4°15'58" West, 92.84 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
2. North 63°41'58" West, 296.22 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
3. North 26°19'23" East, 112.46 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
4. North 63°36'46" West, 46.90 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
5. North 26°39'00" East, 91.45 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
6. North 60°21'11" West, 53.72 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
7. North 26°43'42" East, 55.53 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
8. North 63°34'50" West, 200.00 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
9. South 26°50'59" West, 55.85 feet to a 1/2-inch iron rod with a plastic cap stamped "KHA" set for corner;
10. North 63°36'50" West, 415.09 feet to the **POINT OF BEGINNING**, and containing 27.305 acres of land in Travis County, Texas.

The basis of bearing for this description is the Texas State Plane Coordinate System Grid, Central Zone (FIPS 4203) (NAD'83). All distances are on the surface and shown in U.S. Survey Feet. To convert grid distances to grid, apply the combined SURFACE to GRID scale factor of 0.99992097045. This document was prepared in the office of Kimley-Horn and Associates, Inc. in San Antonio, Texas.

LOT TABLE			LOT TABLE			LOT TABLE		
LOT NO.	ACRES	SQ. FT.	LOT NO.	ACRES	SQ. FT.	LOT NO.	ACRES	SQ. FT.
BLOCK D LOT 40	0.143	6,250	BLOCK J LOT 26	0.157	6,836	BLOCK K LOT 50	0.143	6,250
BLOCK D LOT 41	0.171	7,452	BLOCK J LOT 27	0.157	6,836	BLOCK K LOT 51	0.177	7,728
BLOCK H LOT 12	0.171	7,452	BLOCK J LOT 28	0.157	6,836	BLOCK L LOT 1-AMENITY CENTER	3.854	167,890
BLOCK H LOT 13	0.143	6,250	BLOCK J LOT 29	0.173	7,538	BLOCK L LOT 2	0.171	7,455
BLOCK H LOT 14	0.143	6,250	BLOCK J LOT 30	0.192	8,346	BLOCK L LOT 3	0.146	6,369
BLOCK H LOT 15	0.143	6,250	BLOCK J LOT 31	0.182	7,918	BLOCK L LOT 4	0.153	6,679
BLOCK H LOT 16	0.143	6,250	BLOCK J LOT 32	0.191	8,330	BLOCK L LOT 5	0.161	7,030
BLOCK H LOT 17	0.143	6,250	BLOCK J LOT 33	0.189	8,240	BLOCK L LOT 6	0.163	7,080
BLOCK H LOT 18	0.143	6,250	BLOCK J LOT 34	0.172	7,483	BLOCK L LOT 7	0.244	10,631
BLOCK H LOT 19	0.143	6,250	BLOCK J LOT 35	0.193	8,389	BLOCK L LOT 8	0.267	11,647
BLOCK H LOT 20	0.144	6,251	BLOCK J LOT 36	0.278	12,130	BLOCK L LOT 9	0.174	7,599
BLOCK H LOT 21	0.156	6,797	BLOCK J LOT 37	0.332	14,470	BLOCK L LOT 10	0.158	6,874
BLOCK H LOT 22	0.160	6,971	BLOCK J LOT 38	0.244	10,620	BLOCK L LOT 11	0.163	7,113
BLOCK H LOT 23	0.206	8,963	BLOCK J LOT 39	0.195	8,494	BLOCK L LOT 12	0.171	7,443
BLOCK I LOT 1-PARKLAND	1.332	58,022	BLOCK J LOT 40	0.198	8,614	ROW	4.659	202,939
BLOCK J LOT 1	0.197	8,579	BLOCK J LOT 41	0.196	8,526			
BLOCK J LOT 2	0.189	8,247	BLOCK J LOT 42	0.194	8,457			
BLOCK J LOT 3	0.192	8,374	BLOCK K LOT 27	0.261	11,364			
BLOCK J LOT 4	0.165	7,208	BLOCK K LOT 28	0.194	8,458			
BLOCK J LOT 5	0.159	6,909	BLOCK K LOT 29	0.202	8,803			
BLOCK J LOT 6	0.159	6,909	BLOCK K LOT 30	0.216	9,400			
BLOCK J LOT 7	0.159	6,909	BLOCK K LOT 31	0.143	6,250			
BLOCK J LOT 8	0.159	6,909	BLOCK K LOT 32	0.143	6,250			
BLOCK J LOT 9	0.269	11,718	BLOCK K LOT 33	0.143	6,250			
BLOCK J LOT 10	0.171	7,452	BLOCK K LOT 34	0.143	6,250			
BLOCK J LOT 11	0.143	6,250	BLOCK K LOT 35	0.223	9,714			
BLOCK J LOT 12	0.143	6,250	BLOCK K LOT 36	0.278	12,125			
BLOCK J LOT 13	0.145	6,317	BLOCK K LOT 37	0.237	10,318			
BLOCK J LOT 14	0.179	7,810	BLOCK K LOT 38	0.159	6,939			
BLOCK J LOT 15	0.143	6,250	BLOCK K LOT 39	0.261	11,360			
BLOCK J LOT 16	0.143	6,250	BLOCK K LOT 40	0.470	20,477			
BLOCK J LOT 17	0.143	6,250	BLOCK K LOT 41-DRAINAGE	0.100	4,335			
BLOCK J LOT 18	0.174	7,578	BLOCK K LOT 42	0.283	12,327			
BLOCK J LOT 19	0.220	9,592	BLOCK K LOT 43	0.341	14,852			
BLOCK J LOT 20	0.238	10,381	BLOCK K LOT 44	0.301	13,115			
BLOCK J LOT 21	0.199	8,678	BLOCK K LOT 45	0.383	16,704			
BLOCK J LOT 22	0.181	7,869	BLOCK K LOT 46	0.191	8,340			
BLOCK J LOT 23	0.266	11,583	BLOCK K LOT 47	0.159	6,930			
BLOCK J LOT 24	0.203	8,838	BLOCK K LOT 48	0.147	6,403			
BLOCK J LOT 25	0.157	6,836	BLOCK K LOT 49	0.144	6,253			

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
601 NW LOOP 410, SUITE 350
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166 FAX: (210) 541-8699
CONTACT: JOHN G. MOSIER, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200
AUSTIN, TEXAS 78759
TBPE FIRM REGISTRATION NO. F-928
PH: (512) 418-1771 FAX: (512) 418-1791
CONTACT: ALEJANDRO E. GRANADOS RICO, P.E.

OWNER/DEVELOPER:
FORESTAR (USA) REAL ESTATE GROUP INC.,
A DELAWARE CORPORATION
2221 E. LAMAR BLVD., SUITE 790
ARLINGTON, TEXAS 76006
DALLAS COUNTY
CONTACT: JOHN MABERRY

**MANOR HEIGHTS PHASE 2, SECTION 2
27.305 ACRES**

BEING PORTIONS OF A CALLED 90.0886 ACRE TRACT
RECORDED IN DOCUMENT NO. 2017194263, OFFICIAL
PUBLIC RECORDS OF TRAVIS COUNTY,
A.C. CALDWELL SURVEY NO. 52, ABSTRACT NO. 154
CITY OF MANOR, TRAVIS COUNTY, TEXAS

Kimley»Horn					
601 NW Loop 410, Suite 350 San Antonio, Texas 78216			FIRM # 10193973 www.kimley-horn.com		
Tel. No. (210) 541-9166					
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	APS	JGM	3/30/2021	069255703	3 OF 3



Texas Engineering Firm #4242

Date: Friday, May 22, 2020

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX
alex.granados@kimley-horn.com

Permit Number 2020-P-1250-FP
Job Address: Northeast intersection of Old Kimbro Road and 290, Manor, TX. 78653

Dear Alex Granados,

The first submittal of the Manor Heights Phase 2 Section 2 Final Plat (*Final Plat*) submitted by Kimley-Horn and received on April 01, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B.

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.
2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.
3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines should be shown on the final plat.
4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vii), the proposed location of sidewalks should be shown as a DOTTED line inside the proposed right-of-way.
5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.
6. Copies of any deed restrictions or covenants should be provided, if such documents are to be used. These should be filed in conjunction with the filing of the final plat.
7. Current tax certificate should be provided. The one submitted was for 2018 taxes.
8. The plat notes list lots to be dedicated to the City and maintained by the HOA. A license agreement and warranty deed will be required to be submitted for these lots.
9. The plat, license agreement and warranty deed will need to be reviewed by the City Attorney.
10. Provide acreages for all non-residential lots.

5/22/2020 2:05:23 PM
Manor Heights Phase 2 Section 2 Final Plat
2020-P-1250-FP
Page 3

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. Please include a comment response narrative indicating how comments have been addressed with your plan resubmittal. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Additional comments may be generated as requested information is provided. Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



July 2nd, 2020

Pauline Gray, P.E.
Jay Engineering Company, Inc
P.O. Box 1220
Leander, Texas

via E-Mail

RE: 2020-P-1250-FP
Manor Heights South Phase 2-2, Manor, TX. 78653
Final Plat, 1st Review

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated May 22, 2020. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.

Response: See attached street name approval from Travis County 911 Addressing via email.

2. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.

Response: X and Y coordinates added as requested.

3. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines should be shown on the final plat.

Response: Building setback detail added to sheet 2 and setback note has been added as note 13.

4. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vii), the proposed location of sidewalks should be shown as a DOTTED line inside the proposed right-of-way.

Response: Sidewalk line type revised as requested.

5. Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.

Response: Understood.

6. Copies of any deed restrictions or covenants should be provided, if such documents are to be used. These should be filed in conjunction with the filing of the final plat.

Response: Understood, no deed restrictions or covenants will be used at this time.

7. Current tax certificate should be provided. The one submitted was for 2018 taxes.

Response: See attached tax certificates for 2020.

8. The plat notes list lots to be dedicated to the City and maintained by the HOA. A license agreement and warranty deed will be required to be submitted for these lots.

Response: See attached license agreement and special warranty deed.

9. The plat, license agreement and warranty deed will need to be reviewed by the City Attorney.

Response: Understood. License agreement and special warranty deed have been included with this submittal for review.

10. Provide acreages for all non-residential lots.

Response: Acreage for all non-residential and residential lots are provided in the Lot Table on Sheet 3.

Please contact me at 512.782.0602 if additional information is required.

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.
Alex.Granados@kimley-horn.com



Texas Engineering Firm #4242

Date: Friday, August 21, 2020

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX
alex.granados@kimley-horn.com

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Permit Number 2020-P-1250-FP

Job Address: Northeast intersection of Old Kimbro Road and 290, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 2 Section 2 Final Plat submitted by Kimley-Horn and received on April 01, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines should be shown on the final plat.~~
4. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vii), the proposed location of sidewalks should be shown as a DOTTED line inside the proposed right-of-way.~~
5. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.~~

- ~~6. Copies of any deed restrictions or covenants should be provided, if such documents are to be used. These should be filed in conjunction with the filing of the final plat.~~
- ~~7. Current tax certificate should be provided. The one submitted was for 2018 taxes.~~
- ~~8. The plat notes list lots to be dedicated to the City and maintained by the HOA. A license agreement and warranty deed will be required to be submitted for these lots.~~
- 9. The plat, license agreement and warranty deed will need to be reviewed by the City Attorney. The final plat, warranty deed and license agreement are currently being reviewed by the City Attorney.**
- 10. Provide acreages for all non-residential lots. Label lots with acreages.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



November 18, 2020

Pauline Gray, P.E.
Jay Engineering Company, Inc
P.O. Box 1220
Leander, Texas

via E-Mail

RE: 2020-P-1250-FP
Manor Heights South Phase 2-2, Manor, TX. 78653
Final Plat, 2nd Review

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated August 21, 2020. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines should be shown on the final plat.~~
4. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vii), the proposed location of sidewalks should be shown as a DOTTED line inside the proposed right-of-way.~~
5. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of these improvements in accordance with the Subdivision Ordinance.~~

6. ~~Copies of any deed restrictions or covenants should be provided, if such documents are to be used. These should be filed in conjunction with the filing of the final plat.~~
7. ~~Current tax certificate should be provided. The one submitted was for 2018 taxes.~~
8. ~~The plat notes list lots to be dedicated to the City and maintained by the HOA. A license agreement and warranty deed will be required to be submitted for these lots.~~
9. ~~The plat, license agreement and warranty deed will need to be reviewed by the City Attorney. **The final plat, warranty deed and license agreement are currently being reviewed by the City Attorney.**~~

Response: Understood.

10. **Provide acreages for all non-residential lots. Label lots with acreages.**

Response: Acreages labeled on non-residential lots. Acreage for all non-residential and residential lots are provided in the Lot Table on Sheet 3.

Please contact me at 512.782.0602 if additional information is required.

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.
Alex.Granados@kimley-horn.com



Texas Engineering Firm #4242

Date: Tuesday, December 15, 2020

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX
alex.granados@kimley-horn.com

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Permit Number 2020-P-1250-FP

Job Address: Northeast intersection of Old Kimbro Road and 290, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 2 Section 2 Final Plat submitted by Kimley-Horn and received on April 01, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.~~
2. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(3)(i), true bearings and distances to the nearest established street lines, official monuments, or existing subdivision corner which shall be accurately described on the plat and rotated to the state plane coordinate system. Using said system, X and Y coordinates shall be identified for four (4) property corners.~~
3. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vi), the location of building setback lines, as required by the City's Zoning Ordinance and indicated by dashed lines should be shown on the final plat.~~
4. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(4)(vii), the proposed location of sidewalks should be shown as a DOTTED line inside the proposed right-of-way.~~
5. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(5)(iii), if the construction of all improvements needed to serve the subdivision is not completed prior to the filing of the plat for recordation then the developer must provide financial assurance for the completion of the remainder of those improvements in accordance with the Subdivision Ordinance.~~
6. ~~Copies of any deed restrictions or covenants should be provided, if such documents are to be used. These should be filed in conjunction with the filing of the final plat.~~

- ~~7. Current tax certificate should be provided. The one submitted was for 2018 taxes.~~
- ~~8. The plat notes list lots to be dedicated to the City and maintained by the HOA. A license agreement and warranty deed will be required to be submitted for these lots.~~
- ~~9. The plat, license agreement and warranty deed will need to be reviewed by the City Attorney. **The final plat, warranty deed and license agreement are currently being reviewed by the City Attorney.**~~
- ~~10. Provide acreages for all non-residential lots. Label lots with acreages.~~
- 11. General Note 11 should say surety not survey.**
- 12. The year should be updated to 2021.**
- 13. General Note 3 should it be "Governing Body" instead of "Covering Body".**
- 14 General Note 8 needs to include the year of the manual that is being followed.**
- 15. General Note 11 needs to be updated to change "this Plan" to "this Plat"; and the "the Plan" needs to be further identified by providing the full title.**
- 16. General Note 13 needs to provide the ordinance number for the PUD.**
- 17. General Note 16 needs to be revised. The City does not want Lot 41 Block K to be dedicated to the City. The lot should be dedicated and maintained by the HOA.**
- 18. General Note 17 needs to be revised to add after November 7, 2018 ", as amended".**
- 19. License agreement signature pages need to be revised to change the signature line to "Thomas Bolt, City Manager." Subdivision amendments recently adopted authorized the City Manager to execute license agreements.**

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at pgray@gbateam.com.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete, or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy, and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance.

Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Wednesday, February 10, 2021

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX
alex.granados@kimley-horn.com

Permit Number 2020-P-1250-FP
Job Address: Northeast intersection of Old Kimbro Road and 290, Manor 78653

Dear Alex Granados,

The subsequent submittal of the Manor Heights Phase 2 Section 2 Final Plat submitted by Kimley-Horn and received on April 01, 2021, have been reviewed for compliance with the City of Manor Subdivision Ordinance 263B. We can offer the following comments based upon our review (satisfied comments stricken, new or outstanding comments in bold):

Engineer Review

The following comments have been provided by Pauline Gray, P.E.. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@gbateam.com.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.~~
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- ~~16. General Note 13 needs to provide the ordinance number for the PUD.~~
- ~~17. General Note 16 needs to be revised. The City does not want Lot 41 Block K to be dedicated to the City. The lot should be dedicated and maintained by the HOA.~~
- ~~18. General Note 17 needs to be revised to add after November 7, 2018 "as amended". General Note 17 needs to be revised to delete the second "in accordance". Also, after "(The "Development Agreement") delete "and" add a period. Begin the sentence after the period added as follows: "The Owner/Developer" shall enter into a license agreement...~~
- ~~19. License agreement signature pages need to be revised to change the signature line to "Thomas Bolt, City Manager." Subdivision amendments recently adopted authorized the City Manager to execute license agreements.~~
- ~~20. Due to the leave taken by Tom Bolt, the license agreement signature page needs to be revised and left blank and the title of "City Manager" should also be left blank since the Mayor or Lydia Collins, Acting City Manager will be executing the document.~~
- ~~21. Exhibit A is for the license agreement is incorrect. Revise. It should be "Lot 1, Block I". (Lot 1, Block L is the amenity center. Lot 1, Block I is the Parkland)~~
- ~~22. A Special Warranty Deed should be provided with a special warranty deed for Lot 1, Block I of Phase 2, Section 2 for review.~~
- ~~23. A revision of the preliminary plat is required for Manor Heights Phase 2. If a revision to a previously approved Preliminary Plat is required, then no application for Final Plat shall be accepted until the revised Preliminary Plat has been submitted and approved by the Commission.~~

Please revise the project plans to address the comments noted above. Following revision, please upload one full set of the revised drawings in PDF format. To access your project online, please go to www.mygovernmentonline.org and use the online portal to upload your drawings in PDF format.

Should you have questions regarding specific comments, please contact the staff member referenced under the section in which the comment occurs. Should you have questions or require additional information regarding the plan review process itself, please feel free to contact me directly. I can be reached by telephone at (512) 259-3882 ex. 307, or by e-mail at pgray@gbateam.com.

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Thank you,



Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA



March 31, 2021
 Pauline Gray, P.E.
 Jay Engineering Company, Inc
 P.O. Box 1220
 Leander, Texas

via E-Mail

RE: 2020-P-1250-FP
 Manor Heights South Phase 2-2, Manor, TX. 78653
 Final Plat, 4th Review

Dear Pauline Gray,

Please accept this Comment Response Letter in reply to the City of Manor's review, dated February 10, 2021. Original comments have been included below for reference. All Kimley-Horn responses are written in red.

Engineer Review

The review of the submittal package has resulted in the following comments. Should you have any questions or require additional information regarding any of these comments, please contact Pauline Gray, P.E. by telephone at (512) 259-3882 or by email at pgray@jaeco.net.

1. ~~Per City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A Subdivision Ordinance 263B Section 24(c)(1)(xi), where new streets are being created and named, the applicant must have documentation from Travis County 911 Addressing demonstrating that the street names proposed on the final plat are not duplicated within the County.~~
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9. ~~The plat, license agreement and warranty deed will need to be reviewed by the City Attorney. **The final plat, warranty deed and license agreement are currently being reviewed by the City Attorney.**~~
10. ~~Provide acreages for all non-residential lots. Label lots with acreages.~~
11. ~~Note 11 in the General Notes should say surety not survey.~~
12. ~~The years on the plat should be updated to say 2021.~~
13. ~~General Note 3 should it be “Governing Body” instead of “Covering Body”.~~
14. ~~General Note 8 needs to include the year of the manual that is being followed.~~
15. ~~General Note 11 needs to be updated to change “this Plan” to “this Plat”; and the “the Plan” needs to be further identified by providing the full title.~~
Response: Note 11 updated.
16. ~~General Note 13 needs to provide the ordinance number for the PUD.~~
17. ~~General Note 16 needs to be revised. The City does not want Lot 41 Block K to be dedicated to the City. The lot should be dedicated and maintained by the HOA.~~
18. ~~General General Note 17 needs to be revised to add after November 7, 2018 “, as amended”. General Note 17 needs to be revised to delete the second “in accordance”. Also, after “(The “Development Agreement”) delete “and” add a period. Begin the sentence after the period added as follows: “The Owner/Developer” shall enter into a license agreement...”.~~
Response: Note 17 revised.
19. ~~License agreement signature pages need to be revised to change the signature line to “Thomas Bolt, City Manager.” Subdivision amendments recently adopted authorized the City Manager to execute license agreements.~~
20. ~~Due to the leave taken by Tom Bolt, the license agreement signature page needs to be revised and left blank and the title of “City Manager” should also be left blank since the Mayor or Lydia Collins, Acting City Manager will be executing the document.~~
Response: “City Manager” and Tom Bolt have been left blank.
21. ~~Exhibit A is for the license agreement is incorrect. Revise. It should be “Lot 1, Block I”. (Lot 1, Block L is the amenity center. Lot 1, Block I is the Parkland).~~
Response: Exhibit A revised.

22. A Special Warranty Deed should be provided with a special warranty deed for Lot 1, Block I of Phase 2, Section 2 for review.

Response: Special Warranty Deed provided.

23. A revision of the preliminary plat is required for Manor Heights Phase 2. If a revision to a previously approved Preliminary Plat is required, then no application for Final Plat shall be accepted until the revised Preliminary Plat has been submitted and approved by the Commission.

Response: Understood. Preliminary plat revision for Manor Heights Phase 2 approved and is scheduled for P&Z for May 12th. Please see attached Preliminary Plat Conformance Letter.

Please contact me at 512.782.0602 if additional information is required.

Sincerely,



KIMLEY-HORN AND ASSOCIATES, INC.

Alex Granados, P.E.
Alex.Granados@kimley-horn.com



Texas Engineering Firm #4242

1500 County Road 269
Leander, TX 78641

PO Box 2029
Leander, TX 78646-2029

Date: Monday, April 26, 2021

Alex Granados
Kimley-Horn
10814 Jollyville Road
Austin TX
alex.granados@kimley-horn.com

Permit Number 2020-P-1250-FP
Job Address: Northeast intersection of Old Kimbro Road and 290, Manor 78653

Dear Alex Granados,

We have conducted a review of the final plat for the above-referenced project, submitted by Alex Granados and received by our office on April 01, 2021, for conformance with City of Manor Code of Ordinances Chapter 10, Section 10.02 Exhibit A, Article II, Section 24. The Plat appears to be in general compliance with City Ordinance requirements and we, therefore, take no exception to their approval as presented. Please submit TWO (2) mylar copies of the final plat along with a current tax certificate and a check made out to Travis County for the filing fees to the City of Manor for signatures. One mylar is for City records and the other is for Travis County.

Review of this submittal does not constitute verification that all data, information and calculations supplied by the applicant are accurate, complete or adequate for the intended purpose. The engineer of record is solely responsible for the completeness, accuracy and adequacy of his/her submittal, whether or not City Engineers review the application for Ordinance compliance. Please call if you have any questions or need additional information.

Sincerely,

A handwritten signature in blue ink that reads "Pauline M. Gray".

Pauline Gray, P.E.
Senior Engineer
Jay Engineering, a Division of GBA